

**FOR UNRATED CONSTRUCTION
EDGE OF EAVE OVERHANG
MUST BE AT LEAST FIVE
FEET FROM PROPERTY LINE.**

FIELD COPY

Pool Notice: If a pool is to be added at a later time; ALL DOORS AND WINDOWS ACCESSING THE POOL AREA MUST COMPLY WITH IRC AG 105.1 POOL BARRIERS & RC R308.4 ITEM 9, GLAZING IN HAZARDOUS LOCATIONS.

ISPSC Sec. 305

CITY OF PHOENIX
Planning and Development Department
By *Demetrius Amiri*
(SIVIN AMINI-AR/131)
02/08/2022
This set of plans has been reviewed for PHOENIX CONSTRUCTION CODE prior to issuance of Building Permit and shall be kept at the construction site. Such review shall not prevent the Building Official from requiring correction of errors in the plans where such errors are subsequently found to be in violation of any law or ordinance.

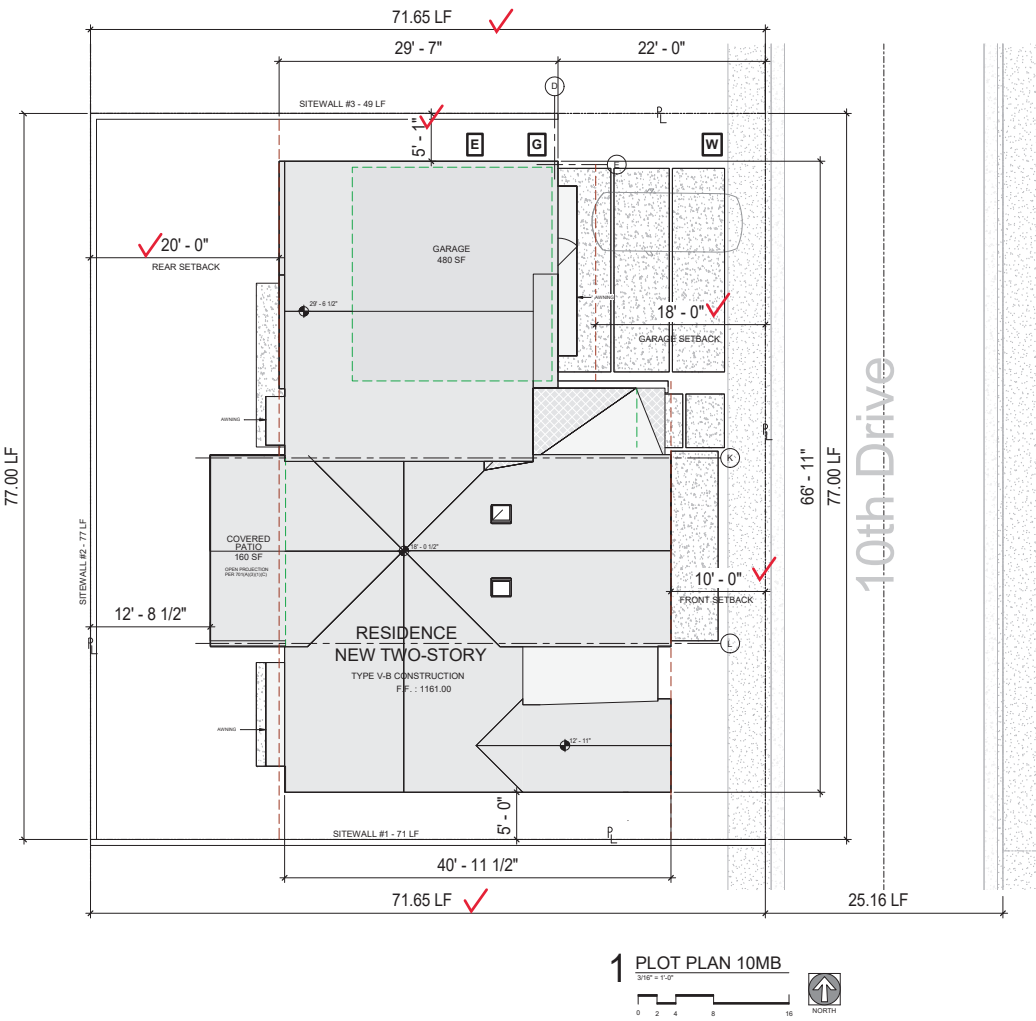
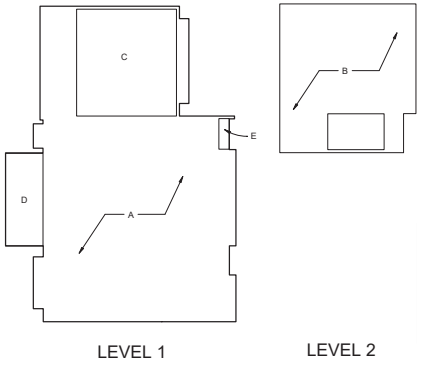
PROPOSED SF:

A: LEVEL 1 - LIVEABLE (incl. stairs)	1,898 SF
B: LEVEL 2 - LIVEABLE	798 SF
TOTAL LIVEABLE	2,696 SF
C: GARAGE	480 SF
D: COVERED PATIO	160 SF
TOTAL PATIOS	160 SF
E: COVERED PORCH	14 SF
TOTAL PORCH	14 SF
TOTAL UNDER ROOF	3,350 SF

OPTIONS SF AND SELECTION (YES/NO):

YES OPTION B, SHEET A103B +/- 0 SF

YES MIRRORED PLAN +/- 0 SF



SITE PLAN GENERAL NOTES:

- A. CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION, SITE IMPROVEMENTS, ETC. WHETHER OR NOT INDICATED ON THE DRAWINGS TO FACILITATE THE COMPLETION OF ALL REQUIRED NEW WORK. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL QUANTITIES AND ITEMS REQUIRED TO BE REMOVED PRIOR TO SUBMITTAL OF PROPOSAL.
- B. SLOPE ALL GRADES AND PAVEMENT AWAY FROM BUILDING (S) TO PROVIDE POSITIVE DRAINAGE, UNLESS NOTED OTHERWISE.
- C. FINISH GRADE AT WALKWAYS, BUILDINGS, ETC. AS REQUIRED TO PROVIDE SMOOTH TRANSITION TO GRADE. AS TOPSOIL AS REQUIRED. RAISE LANDSCAPE AREAS TO PROVIDE POSITIVE DRAINAGE. RE SEED OR RE PLANT DISTURBED AREAS AS REQUIRED.
- D. ANGLES INDICATED ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- E. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE ON A CONTINUING BASIS FOR THE DURATION OF CONSTRUCTION.
- F. TYPICALLY, ALL NEW CONCRETE WALKS SHALL HAVE EXPANSION JOINTS AT A MAXIMUM SPACING OF 20' O.C. AND CONTROL JOINTS AT 6' O.C., UNLESS OTHERWISE NOTED OR INDICATED.
- G. SHOULD SLOPES OF GREATER THAN 1:1 IN 20' OCCUR AT FURNISHMENT LOCATIONS, NOTIFY ARCHITECT IMMEDIATELY.
- H. DIMENSIONS ARE TO OUTSIDE FACE OF STEM WALLS FOUNDATIONS UNLESS NOTED OTHERWISE.
- I. ALL AREAS DISTURBED BY CONSTRUCTION, STAGING, ETC. SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ORIGINAL CONDITION.
- J. ALL MECHANICAL EQUIPMENT (AIR CONDITIONERS, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF 6 FEET ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ADJACENT AREAS AND SHALL BE COMPATIBLE WITH THE LAND.
- K. NO NATIVE PLANTS SHALL BE DISTURBED BY THE CONSTRUCTION OF THIS PROJECT.
- L. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
- M. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WALKWAYS, STREETS, OR TO ADJACENT LOTS OR TRACTS OF LAND.
- N. GUESTHOUSE OR ACCESSORY STRUCTURE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOTPRINT OF THE PRINCIPAL BUILDING.

PROJECT CODE INFORMATION:

ZONING DATA:
ADDRESS/PARCEL NUMBER: 196-26-074
BASE ZONE: R16 (R16D OPTION)
LOT AREA: 10,850 SF
SUBDIVISION: CASA AZUL
LOT NUMBER: 10
OVERLAYS: N/A
SEWERAGE PERMETER:
FRONT: 10 FEET
REAR: 15' (1 STORY), 20' (2 STORY)
SIDE: 0 FEET INTERIOR LOT
6 FEET PERIMETER LOT

SEWERAGE INTERIOR:
FRONT: 10 FEET
REAR: NONE
SIDE: NONE
MIN. GARAGE SETBACK: 18 FEET
MIN. BUILDING SEPARATION: 10 FEET

SPRINKLER DATA:
EXISTING RESIDENTIAL SPRINKLER SYSTEM: NO

MINIMUM REQUIRED FINE FLOW SHALL BE 1,000 GPM FOR TWO HOURS (TYPE V-B CONSTRUCTION 0.3600 SF) PER I.F.C. TABLE 6-105.1

BUILDING/SITE DATA:
OCCUPANCY: SINGLE FAMILY RES.
TYPE OF CONSTRUCTION: V-B
NUMBER OF STORIES: ONE
BUILDING HEIGHT: 30 FEET
MAXIMUM PERMITTED: 15-11 1/2"
FLOORPLAN (FPAL): YES
AREA CALCULATIONS: SEE SF TABLE

Total Site SF	105,396
less streets, drive aisle, ROW (SF)	(19,812)
Site Available SF	85,583

Lot Number	Primary Structure Footprint (SF)	Shade Structure (SF)
1	2,167	233
2	1,809	202
3	3,180	299
4	3,160	296
5	3,160	296
6	3,160	296
7	2,378	174
8	2,378	174
9	2,378	174
10	2,378	174
11	2,285	215
12	1,889	212

SF UTILIZED 30,332 35.44% 2,744 3.21%

SF ALLOWED 34,233 20 40% 8,658 30 10%

LEGEND:

- W** WATER METER
- G** GAS METER
- E** ELECTRIC METER
- P** PROPERTY LINE
- CL** CENTER LINE



DESIGN TANK ©
1504 E CAMELBACK ROAD, SUITE 120-411
PHOENIX, AZ 85016
602.968.6500

**CASA AZUL DOUBLE STORY
LOT 10
6330 N 10th Drive Phoenix, AZ 85013**

REVISION	DATE	REASON FOR ISSUE



PLOT PLAN

PERMIT SET

DATE: 2021-07-15	REVISION:
PROJECT NUMBER: 000000	SHEET NUMBER:
SCALE: As indicated	A101-10MB

**FF: 1161.00
PAD: 1160.33**