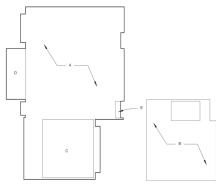
FOR UNRATED CONTRUCTION EDGE OF EAVE OVERHANG MUST BE AT LEAST FIVE





PROPOSED SF:

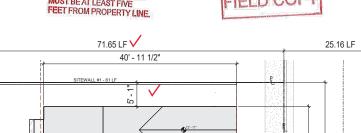
A: LEVEL 1 - LIVEABLE (incl. stairs) B: LEVEL 2 - LIVEABLE	1,898 SF 798 SF
TOTAL LIVEABLE	2,696 SF
C: GARAGE	480 SF
D: COVERED PATIO	160 SF
TOTAL PATIOS	160 SF
E: COVERED PORCH	14 SF
TOTAL PORCH	14 SF
TOTAL UNDER ROOF	3,350 SF
OPTIONS SF AND SELECTION (YES	/NO):
NO OPTION B, SHEET A103B	+/- 0 SF
NO MIRRORED PLAN	+/- 0 SF

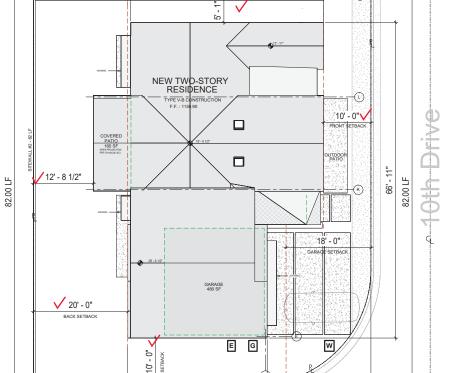


LEVEL 2

LEVEL 1

FEET FROM PROPERTY LINE.





29' - 7"

22' - 0"



SITE PLAN **GENERAL NOTES:**

A CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION. SITE MIPROVEMENTS, ETC. WHETHER OR NOT SPECIFICALLY SHE DEWNINGS TO FACILITATE THE COMPLETION OF ALL REGULBER DIN WORK. CONTRACTOR SHALL WIST THE SITE AND VERRY ALL QUANTITIES AND ITEMS REQUIRED TO BE REMOVED PROF.

B. SLOPE ALL GRADES AND PAVEMENT AWAY FROM BUILDING (S) TO PROVIDE POSITIVE DRAINAGE, UNLESS NOTED OTHERWISE.

C. FINISH GRADE AT WALKWAYSS, BUILDINGS, ETC., AS REQUIRED TO PROVIDE SMOOTH TRANSITION TO GRADE. ADD TOPSOIL AS REQUIRED. RAKE LANDSCAPE AREAS TO PROVIDE POSITIVE DRANNACE. RESEED OR RE.PLANT DISTURBED AREAS AS REQUIRED.

D. ANGLES INDICATED ARE 45 DEGREES UNLESS NOTED OTHERWISE.

E. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE ON A CONTINUING BASIS FOR THE DURATION OF CONSTRUCTION.

F. TYPICALLY, ALL NEW CONCRETE WALKS SHALL HAVE EXPANSION JOINTS AT A MAXIMUM SPACING OF 20'0" O.C. AND CONTROL JOINTS AT 5.0" O.C., UNLESS OTHERWISE NOTEO OR INDICATED.

G. SHOULD SLOPES OF GREATER THAN 1'.0" IN 20'.0" OCCUR AT PAVEMENT LOCATIONS, NOTIFY ARCHITECT IMMEDIATELY.

H. DIMENSIONS ARE TO OUTSIDE FACE OF STEM WALLS/ FOUNDATIONS UNLESS NOTED OTHERWISE.

I ALL AREAS DISTURBED BY CONSTRUCTION, STAGING, ETC.

SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ORIGINAL CONDITION.

A. ALL MECHANICAL EQUIPMENT (AIR CONDITIONERS, POOL EQUIPMENT, ETC...) SHALL BE SCREENED A MINIMUM OF 1"
ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM
ALL SIDES AND SHALL BE COMPATIBLE WITH THE
ADJACENT BUILDING.

B. NO NATIVE PLANTS SHALL BE DISTURBED BY THE CONSTRUCTION OF THIS PROJECT.

C. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT. D. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, ONTO ADJACENT LOTS OR TRACTS OF LAND.

E. GUESTHOUSE OR ACCESSORY STRUCTURE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOTPRINT OF THE PRINCIPAL BUILDING.

PROJECT CODE INFORMATION:

ZONING DATA: ASSESSOR PARCEL NUMBER: BASE ZONE: LOT AREA: SUBDIVISION: LOT NUMBER: OVERLAYS: SETBACKS PERIMETER:	156-26-171 R1-6 (PRD OPTION) 5,746 S.F. CASA AZUL 7 N/A
FRONT: REAR: SIDE:	10 FEET 15' (1 STORY), 20' (2 S' 0 FEET INTERIOR LOT 5 FEET PERIMETER LO
SETBACKS INTERIOR: FRONT: REAR: SIDE: MIN. GARAGE SETBACK:	10 FEET NONE NONE 18 FEET
MIN. BUILDING SEPARATION:	10 FEET

SPRINKLER DATA: EXISTING RESIDENTIAL SPRINKLER SYSTEM: NO

BUILDING/SITE DATA: OCCUPANCY: TYPE OF CONSTRUCTION: NUMBER OF STORIES: BUILDING HEIGHT; MAXIMUM PERMITTE PROVIDED:

Total Site SF less streets, drive aisle, ROW (SF)		105,395 (19,812)	
Site Available SF		85,583	
Lot Number	Primary Structure Footprint (SF)	Shade Structure (SF)	
1	2,197	235	
2	1,809	202	
3	3,160	296	
4	3,160	296	
5	3,160	298	
6	3,160	296	
→ 7	2,378	174	
8	2,378	174	
9	2,378	174	
10	2,378	174	
11	2,285	215	
12	1,889	212	
SF UTILIZED	30,332 35.44%	2,744 3.21%	
SF ALLOWED	34,233.20 40%	8,558.30 10%	

LEGEND:

WATER METER

GAS METER

ELECTRIC METER PROPERTY LINE

CL CENTER LINE



1934 E CAMELBACK ROAD, SUITE 120-411 PHOENIX, AZ 85016 503.580.5826

6306 N 10th Drive Phoenix, AZ 85013 **AZUL DOUBLE STORY** 0

PLOT PLAN

PERMIT SET

DATE 2021-0715 PROJECT NUME 000000

A101-7