

1/30/2022 11:21:55 AM C:\Users\Fran\Thomas\OneDrive - DesignTANK\Documents - DesignTANK\Documents - Tyler\_Kuenz\2022-1100\_Palmaire-Lot-3\_PERMIT\_SET.dwg

WINDOW SCHEDULE							
MARK	FAMILY	COUNT	WIDTH	HEIGHT	HEAD HEIGHT	SILL HEIGHT	COMMENTS
A	WD - Fixed	2	3'-0"	2'-0"	8'-0"	6'-0"	
B	WD - Fixed	5	3'-0"	5'-0"	8'-0"	3'-0"	
C	WD - Fixed	1	5'-0"	2'-0"	8'-0"	6'-0"	TEMPERED
D	WD - Fixed	1	2'-0"	2'-0"	8'-0"	6'-0"	TEMPERED
E	WD - Fixed	2	4'-0"	10'-0"	10'-0"	0"	TEMPERED
F	WD - Fixed	1	2'-0"	5'-0"	8'-0"	3'-0"	
G	WD - Fixed	2	3'-0"	10'-0"	10'-0"	0"	
H	WD - Fixed	1	6'-0"	2'-0"	10'-0"	8'-0"	
J	WD - Fixed	1	5'-0"	2'-0"	8'-0"	6'-0"	
K	WD - Fixed	2	2'-0"	2'-0"	8'-0"	6'-0"	
L	WD - Fixed	3	4'-0"	8'-0"	8'-0"	0"	
M	WD - Fixed	2	4'-0"	8'-0"	10'-0"	2'-0"	
N	WD - Fixed	2	4'-0"	8'-0"	8'-0"	0"	TEMPERED
S1	WD - Skylight	1	2'-0"	2'-0"	8'-0"	0"	TEMPERED
T	WD - Fixed	1	3'-0"	8'-0"	8'-0"	0"	TEMPERED

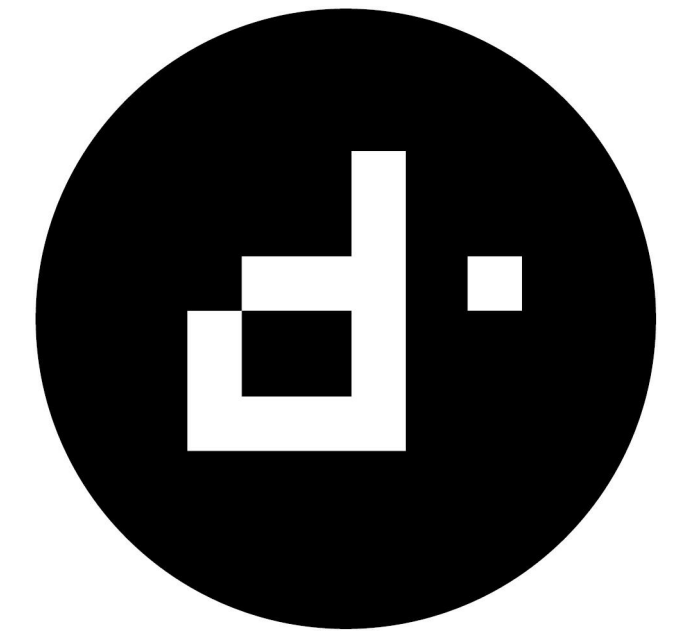
CURTAIN WALL SCHEDULE				
MARK	LENGTH	OVERALL HEIGHT	AREA	COMMENTS
CW1	8' - 10 1/2"	10' - 0"	88.8 SF	FRONT ENTRY
CW2	7' - 10 1/4"	10' - 0"	78.5 SF	COURTYARD
CW3	6' - 10 1/4"	10' - 0"	68.5 SF	PRIMARY SHOWER
CW4	1' - 6"	10' - 0"	15.0 SF	PRIMARY SHOWER

DOOR SCHEDULE					
MARK	COUNT	DOOR SIZE		COMMENTS	
		WIDTH	HEIGHT		
100	1	5'-6"	9'-9 1/2"	FRONT GLASS PIVOT DOOR - TEMPERED	
101	1	18'-0"	8'-0"	OVERHEAD GARAGE DOOR	
102	1	3'-0"	8'-0"	EXTERIOR GARAGE DOOR	
103	1	15'-6"	10'-0"	MULTI-SLIDE GLASS DOOR - TEMPERED	
104	1	8'-0"	10'-0"	GLASS SLIDER - TEMPERED	
105	1	8'-0"	10'-0"	GLASS SLIDER - TEMPERED	
106	1	8'-0"	10'-0"	GLASS SLIDER - TEMPERED	
107	1	8'-0"	8'-0"	GLASS SLIDER - TEMPERED	
108	1	8'-0"	10'-0"	GLASS SLIDER - TEMPERED	
109	1	3'-0"	8'-0"	INTERIOR POCKET DOOR	
110	1	2'-6"	8'-0"	INTERIOR DOOR	
111	1	3'-0"	8'-0"	INTERIOR DOOR	
112	1	2'-6"	8'-0"	INTERIOR DOOR	
113	1	2'-6"	8'-0"	INTERIOR DOOR	
114	1	3'-0"	8'-0"	INTERIOR DOOR	
115	1	2'-6"	8'-0"	INTERIOR DOOR	
117	1	2'-8"	8'-0"	OPENING	
118	1	3'-0"	8'-0"	GARAGE ENTRY DOOR - 45 MIN. RATED W/ POSITIVE LATCHING & GASKET	
120	1	3'-0"	8'-0"	INTERIOR POCKET DOOR	
123	1	2'-6"	8'-0"	INTERIOR DOOR	
129	1	6'-0"	8'-0"	SLIDING CLOSET DOOR	
135	1	3'-0"	8'-0"	HIDDEN CABINETS DOOR	
136	1	3'-0"	8'-0"	INTERIOR DOOR	
200	1	8'-0"	8'-0"	GLASS SLIDER - TEMPERED	
201	1	8'-0"	8'-0"	GLASS SLIDER - TEMPERED	
202	1	8'-0"	8'-0"	GLASS SLIDER - TEMPERED	
203	1	3'-0"	8'-0"	INTERIOR DOOR	
204	1	2'-8"	8'-0"	INTERIOR POCKET DOOR	
205	1	2'-6"	8'-0"	INTERIOR DOOR	
206	1	2'-8"	8'-0"	INTERIOR DOOR	
207	1	0"	0"	OPENING	
208	1	4'-0"	8'-0"	INTERIOR DOUBLE FLUSH	
209	1	3'-0"	8'-0"	INTERIOR DOOR	
210	1	3'-0"	8'-0"	INTERIOR DOOR	
211	1	2'-6"	8'-0"	INTERIOR DOOR	
212	1	6'-0"	8'-0"	INTERIOR - DOUBLE POCKET DOOR	
213	1	3'-0"	8'-0"	EXTERIOR GLASS DOOR - TEMPERED	

### ELEVATION KEYNOTES

5. 36" MIN. HEIGHT GUARDRAIL W/ 4" MAX VERTICAL SPACING OF HORIZONTAL RUNGS. GUARDRAIL TO SUPPORT 200# CONCENTRATED LOAD / 50# UNIFORM LOAD PER IRC 2018 R312.1. SEE STRUCTURAL SHEET SD-4.
- 12a. N/A
- 12b. 4"x6" MIN. THRU-WALL SCUPPER.
30. EXTERIOR STUCCO SYSTEM (TYP) PER ICC-ES REPORT ESR-1471 OVER 1" INSULATION BOARD AND WEATHER BARRIER (DUPONT TYVEK STUCCO WRAP PER ICC-ESR 2375).
32. MASONRY VENEER PER ICC-ES REPORT ESR-4330.
33. EXTERIOR WOOD OR FIBER CEMENT RAINSCREEN WALL SYSTEM (TYP) PER ICC-ES REPORT ESR-3910.
34. VELUX CURB MOUNTED SKYLIGHT PER UNIFORM ICC-ES REPORT ER-0199 TYP.
36. CONTROL JOINT TYP.
37. BREAK METAL SIDING, FLASHING AND TRIM.
39. PAINTED STEEL COLUMN PER STRUCTURAL.
43. EXTERIOR CMU WALL PER STRUCTURAL.
44. N/A
53. METAL PANEL SCREEN ON STEEL FRAME.
56. N/A
60. N/A

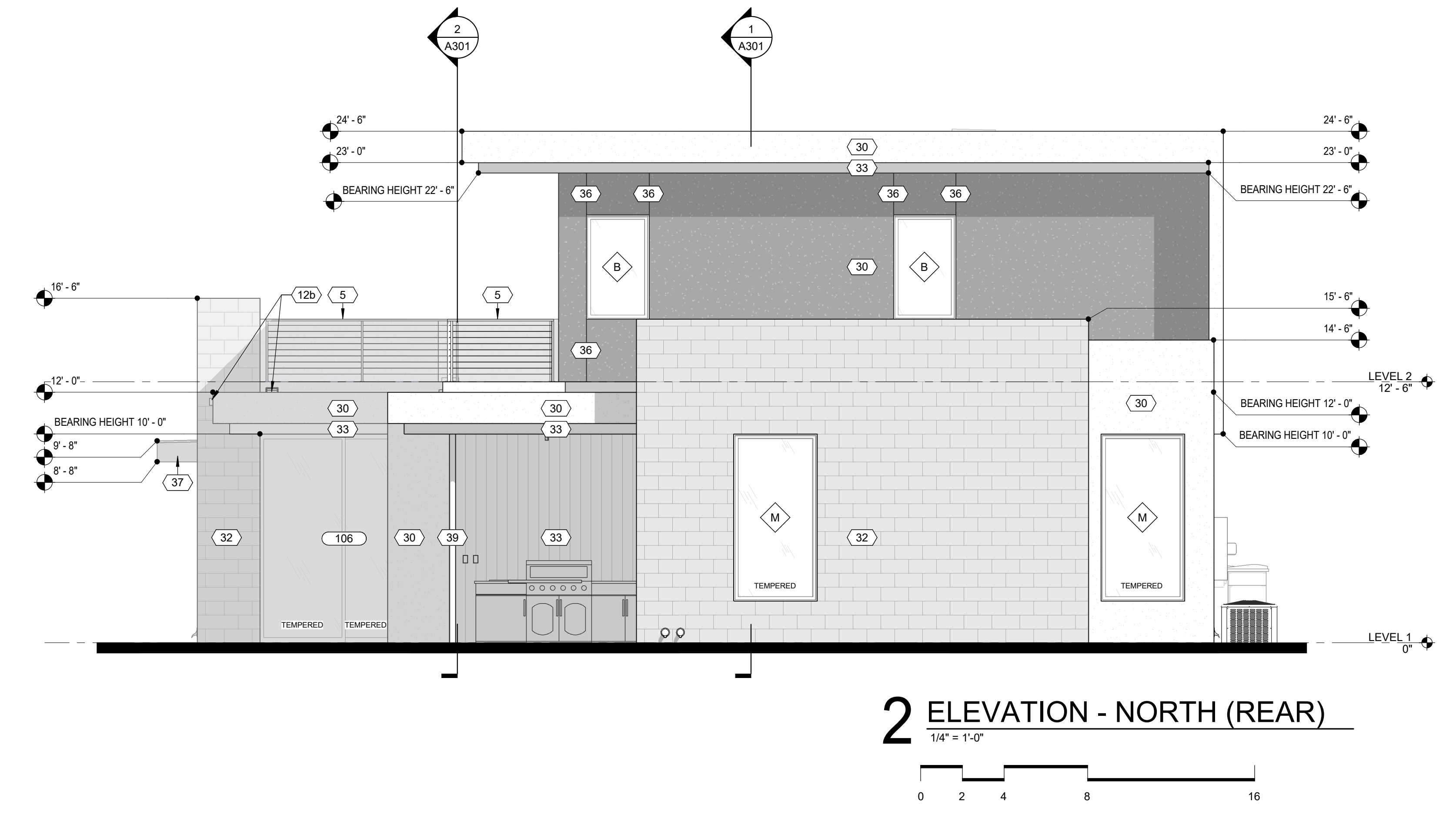
\*NOTE: BUILDING ADDRESS SHALL BE PERMANENT, VISIBLE FROM STREET, AND A MINIMUM 4 INCHES HIGH WITH A STROKE WIDTH OF A HALF INCH.



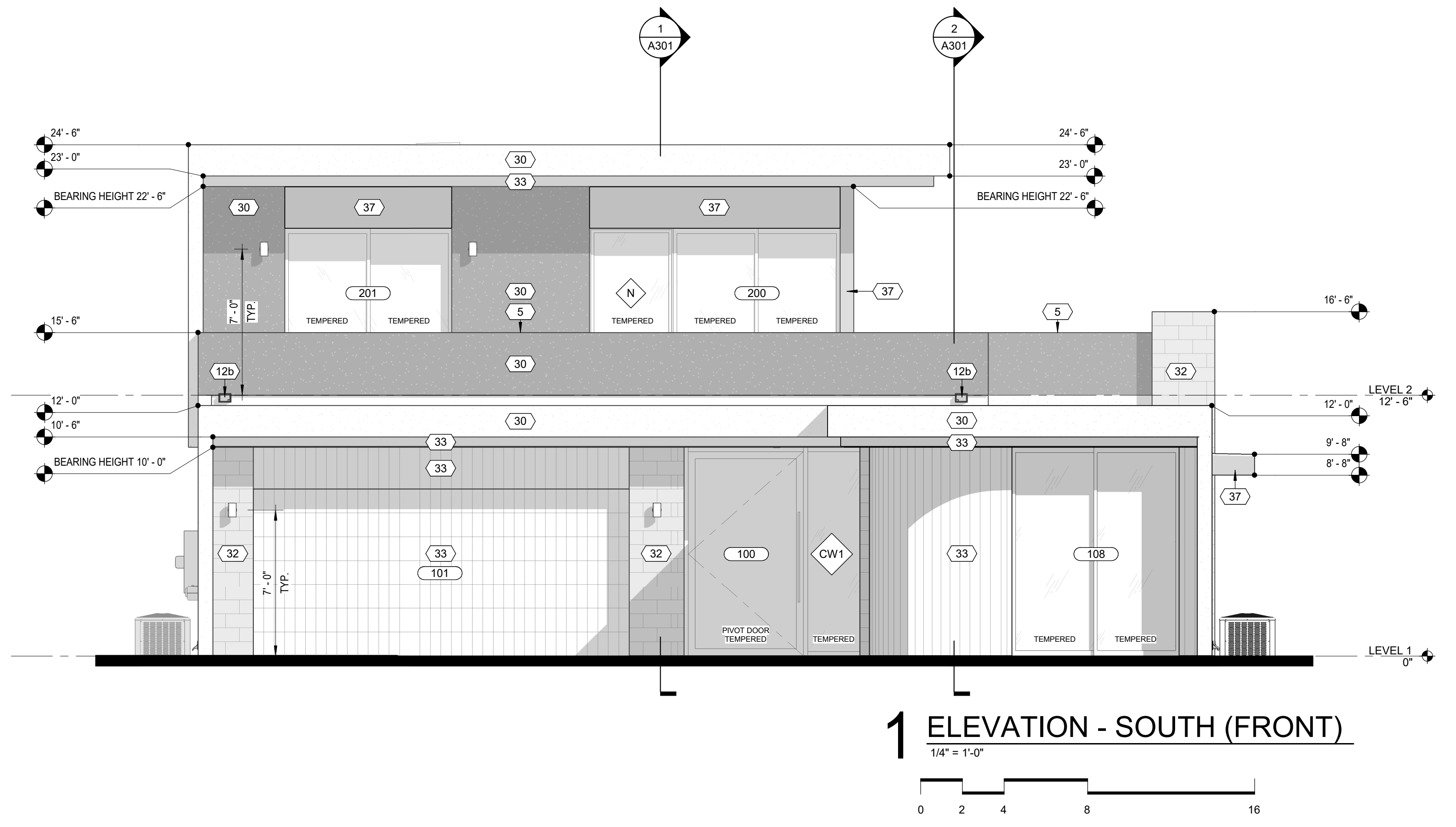
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CONSULTANT:

### PERMIT SET



**2 ELEVATION - NORTH (REAR)**  
1/4" = 1'-0"



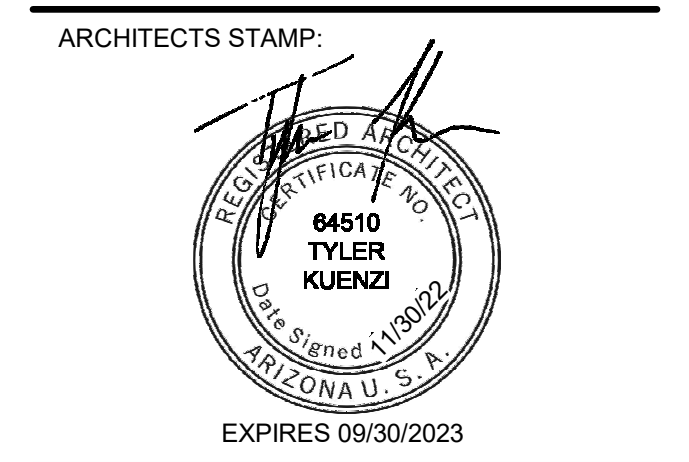
**1 ELEVATION - SOUTH (FRONT)**  
1/4" = 1'-0"

**CITY OF PHOENIX**  
Planning and Development Department  
BY: Patrick B. Montoya  
12/09/2022  
This set of plans has been reviewed for PHOENIX CONSTRUCTION CODE requirements and is issuance of Building Permit and shall be kept at the construction site. Such review shall not release the Building Official from requiring correction of errors in the plans where such errors are subsequently found to be in violation of any law or ordinance.

# TWO STORY RESIDENCE

PALMAIRE 'A'

REVISION	DATE	REASON FOR ISSUE
1	Date 1	Revision 1



### BUILDING ELEVATIONS

DATE	2022-11-30	REVISION	1
SCALE	1/4" = 1'-0"	SHEET NUMBER	A201
SHEET SIZE	30" X 42"		

