

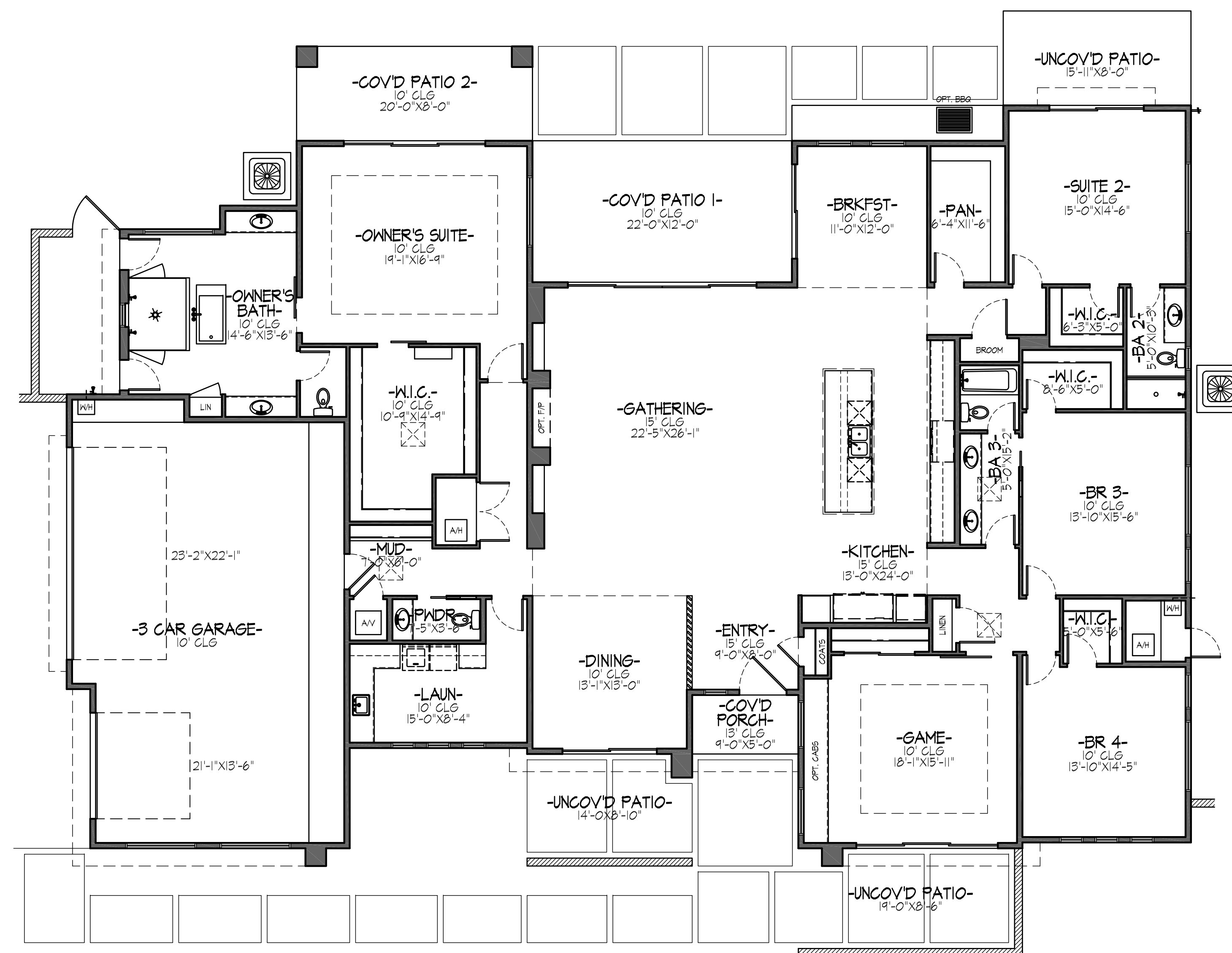
CRITERION
 DESIGN SOLUTIONS, LLC
 3031 N. Civic Center Plaza, Suite #162
 Scottsdale, AZ 85251
 Mobile: 602.471.0226
 E-Mail: Brad@CDShomesAZ.com



COMMUNITY/SUBDIVISION
DESERT ESTATES 12

LOCATION
SCOTTSDALE, AZ

PLAN NAME
6602 E. CHOLLA ST.



ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES:
 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
 2015 INTERNATIONAL BUILDING CODE (IBC)
 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 2015 INTERNATIONAL PLUMBING CODE
 2015 INTERNATIONAL MECHANICAL CODE
 2014 NATIONAL ELECTRICAL CODE (NEC)
 2015 INTERNATIONAL FIRE CODE (IFC)
 2015 INTERNATIONAL FUEL GAS CODE (IFGC)

PER IFC 903, SPRINKLER SYSTEM REQUIRED IN THIS BUILDING BEFORE APPROVAL BY THE SCOTTSDALE FIRE DEPARTMENT

SHEET INDEX

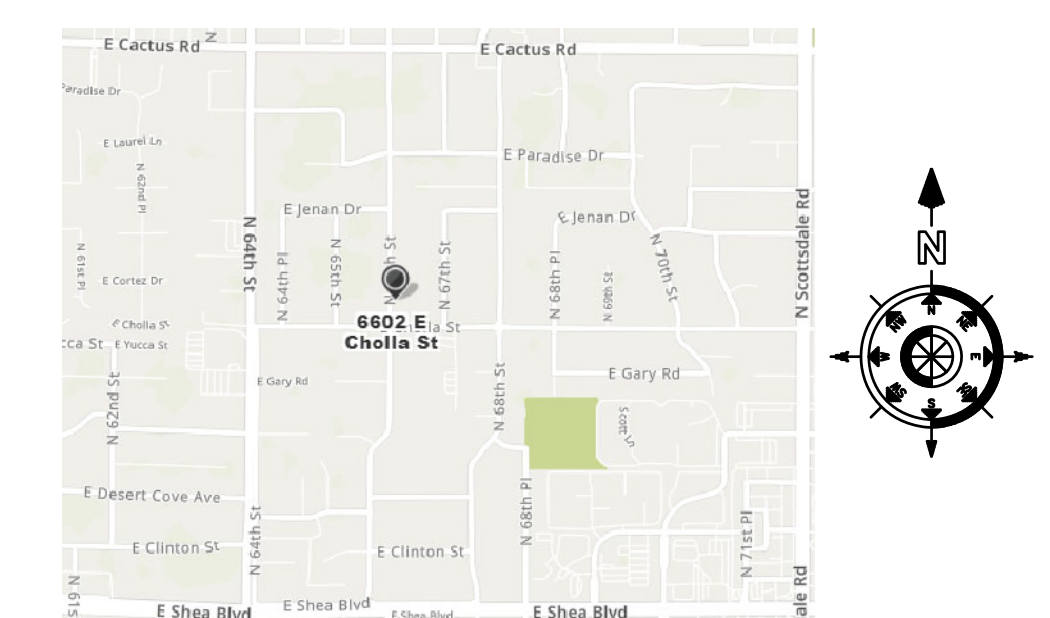
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PROJECT INFORMATION

CLIENT:
BLUE SKY HOMES
 480.900.7204
 PROJECT ADDRESS:
6602 E. CHOLLA ST.
SCOTTSDALE, AZ 85254

Civil Engineer NICK PRODANOV, PE, FMP LAND DEVELOPMENT GROUP 8808 N CENTRAL AVE. STE 228 PHOENIX, AZ 85020 OFFICE: 602.889.1984 MOBILE: 602.492.8250	Mechanical Engineer FERNANDO OCHOA EMY DESIGN, LLC PHOENIX, AZ 85044 MOBILE: 480.335.2551
Electrical Engineer BILLY BETHURM- Voltaus 3666 N. MILLER RD., STE 101 SCOTTSDALE, AZ 85251 OFFICE: 480.659.0511 MOBILE: 602.492.8250	Plumbing Engineer ----
Structural Engineer LR NELSON CONSULTING ENG. 6765 W. RUSSEL RD., STE. 200 LAS VEGAS, NV 89118 ATTN: KENT BARBER M: 702.798.7178	General Contractor LUIS PEREZ LP CONSTRUCTION, LLC AZ LIC. #: 309661 MOBILE: 602.405.3785

VICINITY MAP



SUBMISSION NOTES

▲ CITY REVS	6-1-22
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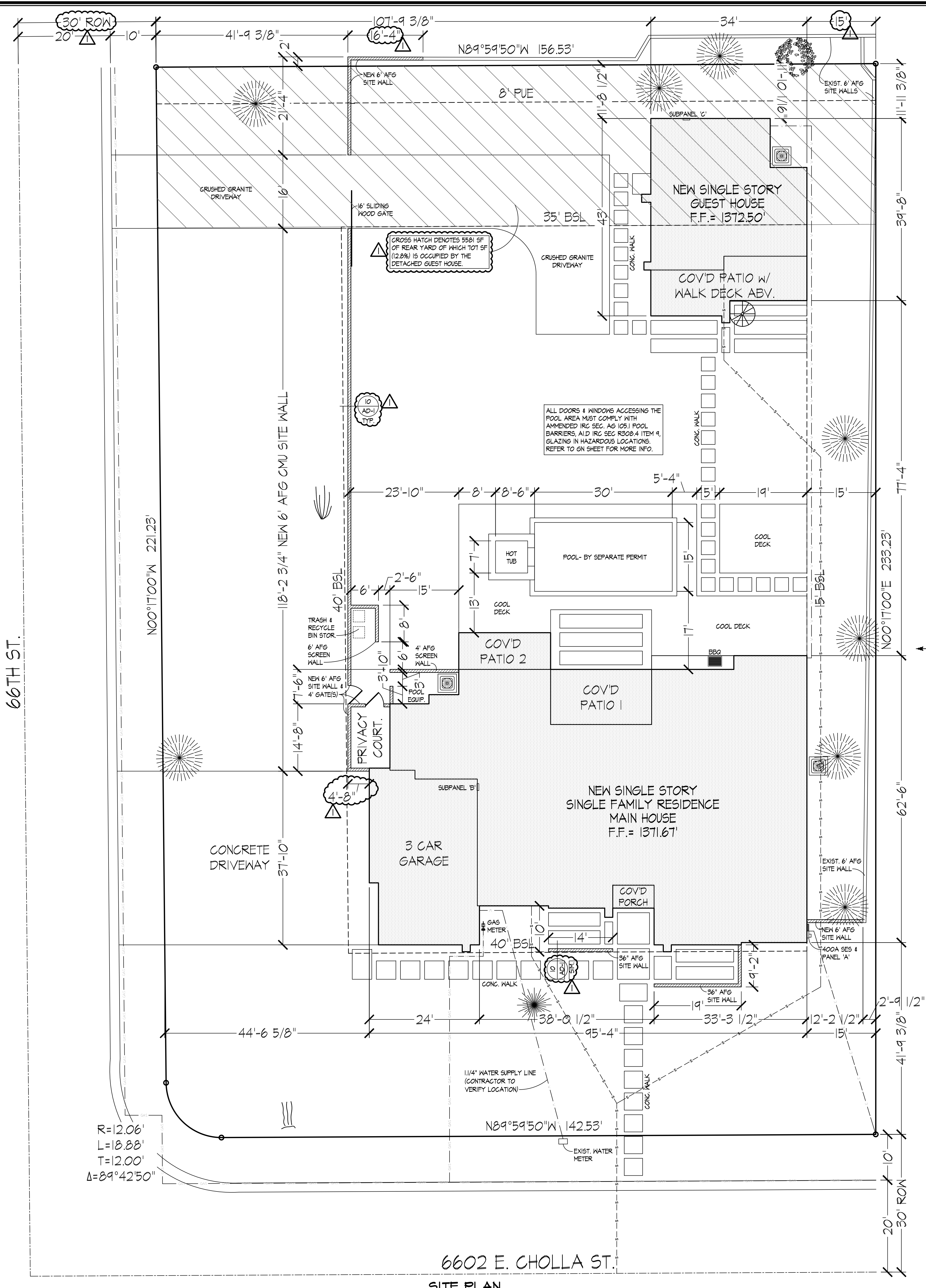
PROJECT NAME:
6602 E CHOLLA ST.

CUSTOM

PROJECT #:	A21-007
PRINTED:	3-1-22
▲ CITY REVS	6-1-22
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- ### SCOTTSDALE SITE PLAN NOTES
1. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
 2. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, NAOS, SCENIC CORRIDORS, OR TO AN ADJACENT LOT, OR TRACT OF LAND. (ZO SEC. 6.1002.B.1 AND DS4PM 2-2501.A.2)
 3. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP, ETC.) SHALL BE SCREENED A MINIMUM OF 1 FOOT ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SHOW LOCATION OF EQUIPMENT ON SITE PLAN.
 4. A GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT. (ZO SEC. 5.012.A.6.C. AND SEC. 5.012.A.6.C.)
 5. A GUESTHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% OF THE FOOTPRINT SIZE OF THE PRINCIPAL BUILDING. (ZO SEC. 5.012.A.6.B. AND SEC. 5.012.A.6.B.)
 6. EXTERIOR MATERIALS AND PAINT COLORS SHALL NOT EXCEED A VALUE AND/OR CHROMA OF 8 AS INDICATED IN THE HANDBOOK OF COLOR ON FILE IN THE CITY OF SCOTTSDALE'S PLANNING & DEVELOPMENT DEPARTMENT. THE CITY MAY REQUIRE COLOR SAMPLES TO VERIFY COMPLIANCE. (ZO SEC. 6.1010.G.1.H.)
 7. MATERIALS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, TONE AND WITH THE SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST. (ZO SEC. 6.1010.G.1.C.)
 8. SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPATIBLE WITH THOSE OF THE ADJACENT MAIN BUILDING. (ZO SEC. 6.1010.G.1.D.)
 9. PLANT MATERIALS NOT INDIGENOUS TO THE ECL AREA SHALL BE LIMITED TO ENCLOSURE YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. TURF SHALL BE LIMITED TO ENCLOSURE AREAS NOT VISIBLE FROM A LOWER ELEVATION. (ZO SEC. 6.1010.G.1.J.)
 10. REFLECTIVE BUILDING MATERIALS ARE PROHIBITED. (DS4PM 2-2501.A.2)
 11. REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS AND SOLAR PANELS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT UNFINISHED COPPER, ALUMINUM, GALVANIZED STEEL, OR OTHER METALLIC SURFACES SHALL BE TEXTURED OR HAVE A WHITE OR NONREFLECTIVE SURFACE TREATMENT TO REDUCE THE REFLECTIONS OF SUNLIGHT ONTO OTHER PROPERTY. (ZO SEC. 6.1010.G.1.B.)
 12. MIRRORING SURFACES OR ANY TREATMENTS THAT CHANGE ORDINARY GLASS INTO A MIRRORING SURFACE ARE PROHIBITED. (ZO SEC. 6.1010.G.1.A.)
 13. THE OWNER SHALL INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES THAT BLEND IN SCALE, FORM AND VISUAL CHARACTER TO MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING & DEVELOPMENT DEPARTMENT. (ZO SEC. 6.1010.G.1.E.)
 14. ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 51 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE SCOTTSDALE REVISED CODE. (ZO SEC. 6.1010.G.1.I.)
 15. LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE PROPERTY OWNER SHALL MAINTAIN ALL DESIGNATED NAOS. (ZO SEC. 6.1060.A.3-4 AND SEC. 6.1000.B.1.)
 16. ALL EXTERIOR LIGHTING BELOW 9 FEET IN HEIGHT SHALL BE FULLY SHIELDED. ALL EXTERIOR LIGHTING ABOVE 9 FEET IN HEIGHT SHALL CONSIST OF HORIZONTAL FULL-CUTOFF FIXTURES AND DIRECTED DOWNWARD, EXCEPT LIGHTS UTILIZED FOR SECURITY PURPOSES. (ZO SEC. 6.1010.G.1.F. AND SEC. 6.1004.D.1.)
 17. ALL EXTERIOR LIGHTS INCLUDING THOSE MOUNTED TO BUILDINGS/STRUCTURES AND ON POLES SHALL NOT EXCEED A HEIGHT OF FIFTEEN (15) FEET. (ZO SEC. 6.1004.D.2.) EXEMPTION LIGHTS THAT ARE CONNECTED TO A PLEASANT THAT DO NOT STAY ON MORE THAN 15 MINUTES FOR SECURITY PURPOSES SHALL NOT BE REQUIRED TO BE SHIELDED OR CONTAIN HORIZONTAL CUTOFFS. (ZO SEC. 6.1004.D.3.)
 18. EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENTS IN THE AREA OR FROM A PUBLIC VIEWPOINT. EXTERIOR FIXTURES SHALL NOT GENERALLY EXCEED A HEIGHT OF 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE. LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF. (ZO SEC. 6.1010.G.1.F.)
 19. WHERE ON-SITE WALLS ARE PLACED ADJACENT TO NAOS AREAS AT LEAST 50 PERCENT OF THE WALL SURFACE SHALL BE A VIEW FENCE. (DS4PM 2-2501.B.2.B.)
 20. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL. (ZO SEC. 1.100 AND SEC. 6.1011.A.6. AND DS4PM 1-1407.)
 21. IN ACCORDANCE WITH THE ZONING ORDINANCE, A REGISTERED SURVEYOR SHALL STAKE AND ROPE THE MOST RESTRICTIVE AREA DEFINED BY THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT AS SHOWN ON THE SITE PLAN. (ZO SEC. 6.1010.A.5.)
 22. NO PAINT COLOR OR SURFACE TREATMENT SHALL BE USED WHICH HAS A LIGHT REFLECTIVE VALUE (LRV) GREATER THAN 35%. (ZO SEC. 6.1010.G.1.G.1.K.)



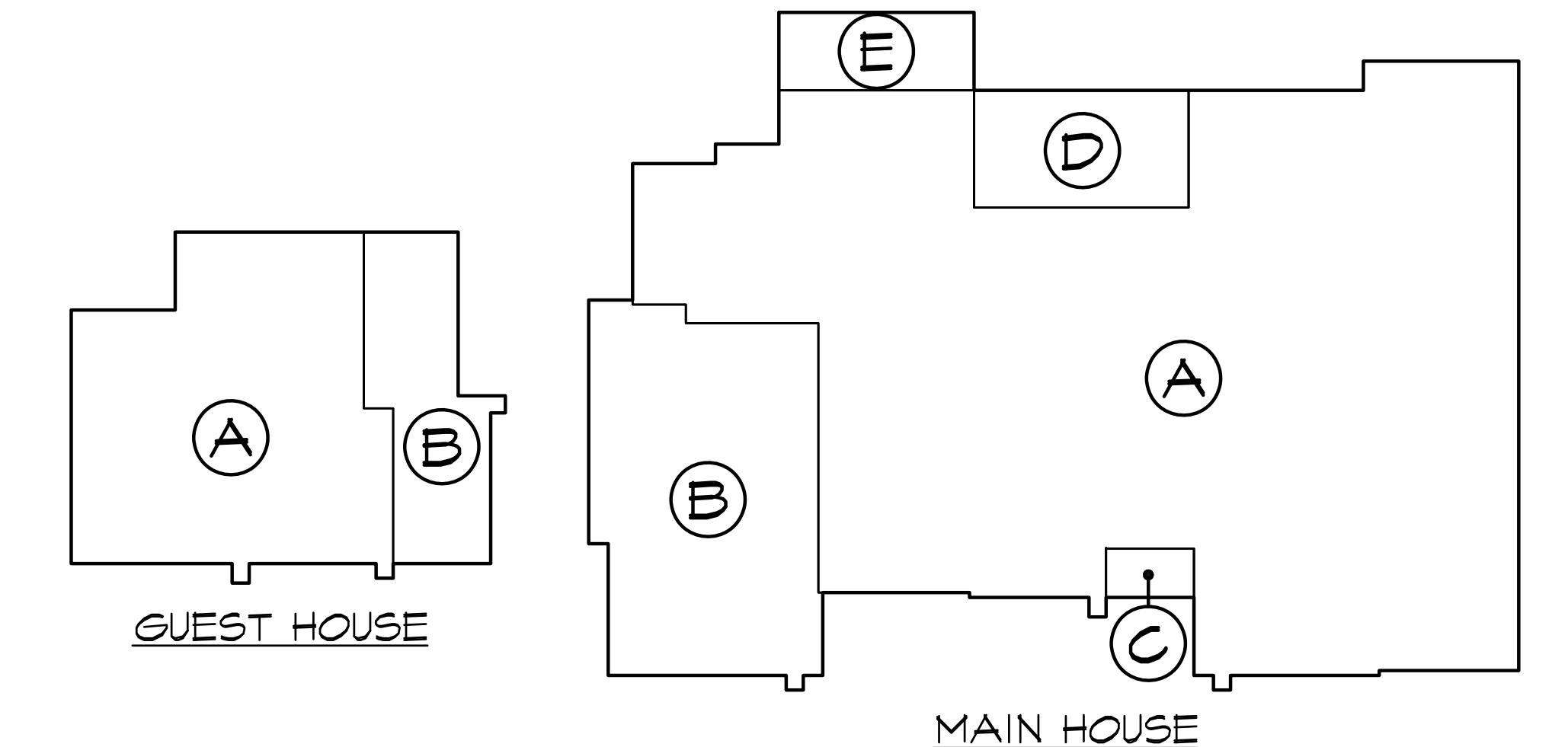
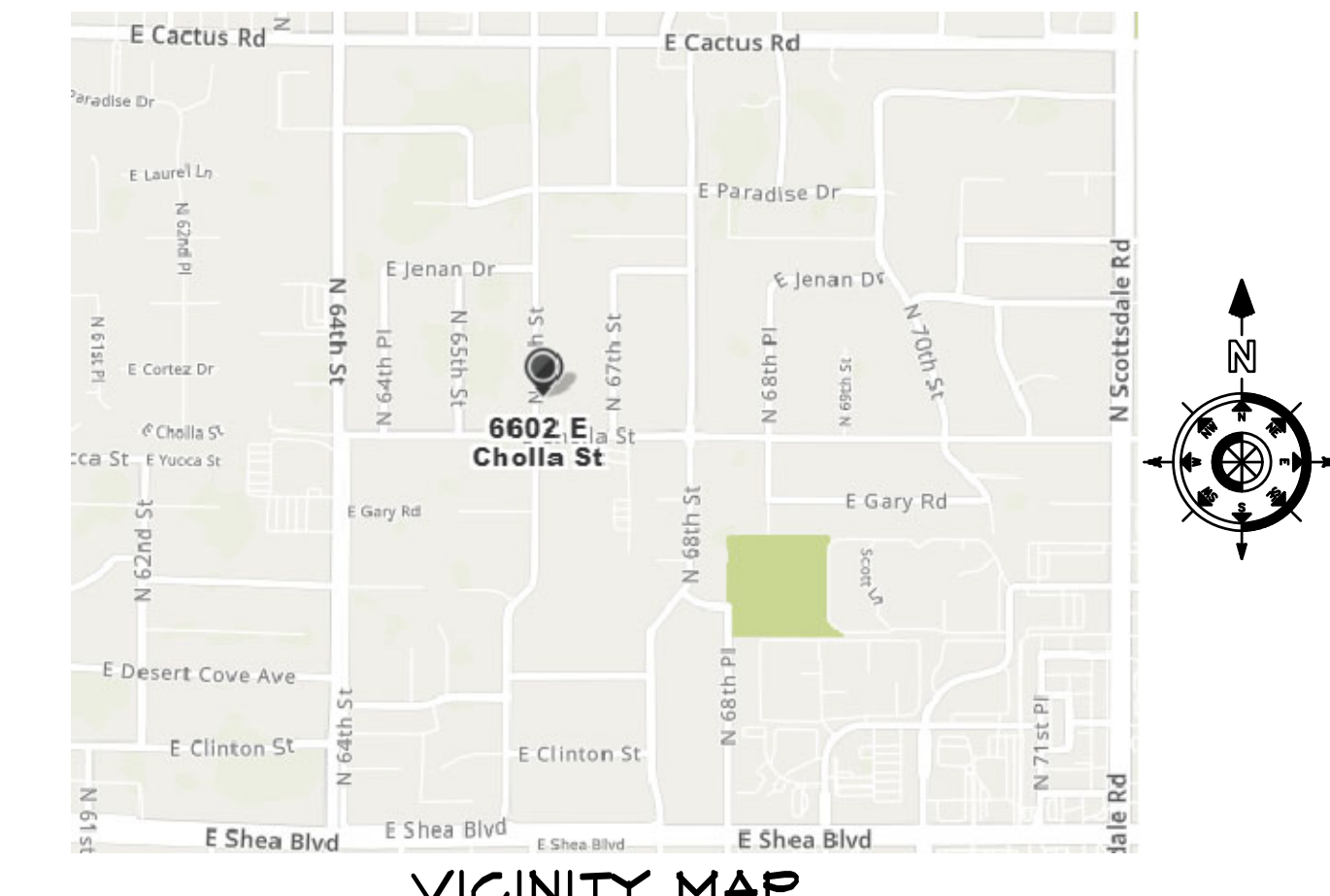
PROJECT INFORMATION

PROJECT SCOPE:
 CUSTOM 4,074 LIVABLE SF SINGLE STORY SINGLE
 FAMILY RESIDENCE & 989 LIVABLE SF GUEST HOUSE
 ON PREVIOUSLY DEVELOPED LOT

ADDRESS:
 6602 E. CHOLLA ST.
 SCOTTSDALE, AZ 85254

PARCEL #: 175-24-009

ZONING: RI-35



GUEST HOUSE AREA CALCS:

(A) TOTAL LIVABLE AREA	989 SQ.FT.
(B) Covered Porch Area	+ 341 SQ.FT.
TOTAL AREA UNDER ROOF	1330 SQ.FT.

MAIN HOUSE AREA CALCS:

(A) TOTAL LIVABLE AREA	4074 SQ.FT.
(B) 3 Car Garage Area	851 SQ.FT.
(C) Covered Porch Area	45 SQ.FT.
(D) Covered Patio 1 Area	264 SQ.FT.
(E) Covered Patio 2 Area	+ 160 SQ.FT.
TOTAL NON-LIVABLE AREA	1320 SQ.FT.
TOTAL AREA UNDER ROOF	5394 SQ.FT.

TOTAL AREA UNDER ROOF/LOT COVERAGE = 6724 SQ.FT.
 NEW FENCE WALLS = 174 LINEAR FEET

LOT STANDARDS & AREA CALCS

STANDARDS	REQUIRED	PROPOSED
GROSS SITE AREA	36265 SF	
LOT COVERAGE %	≤ 25%	18.5%
SQUARE FEET	≤ 9066	6724 SF
FRONT SETBACK	40'	40'
REAR SETBACK	35'/8'	128'-11"/11'-11"
SIDE SETBACKS	40'/15'	33'-8" & 26'
MAX BUILDING HEIGHT	30' AFG	18'-6" AFG

SITE LEGEND

EP	EDGE OF PAVEMENT/ROLLED CURB
ROW	RIGHT OF WAY
PUE	PUBLIC UTILITY EASEMENT
BSL	BUILDING SETBACK LINE
---	EXISTING SITE WALLS
---	NEW SITE WALLS
---	GAS LINES
---	WATER SUPPLY LINES
---	SEWER LINES
---	ELECTRICAL LINES

PER IFG 408, SPRINKLER SYSTEM REQUIRED IN THIS BUILDING BEFORE APPROVAL BY THE SCOTTSDALE FIRE DEPARTMENT

6602 E. CHOLLA ST.

SITE PLAN

SCALE: 1"=10'-0"



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