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ISPSC  
Sec. 305

Pool Notice: If a pool is to be added at a later time, ALL DOORS AND WINDOWS ACCESSING THE POOL AREA MUST COMPLY WITH ~~IBC 2018~~ IBC 2015 POOL BARRIERS & RC R308.4 ITEM 9, GLAZING IN HAZARDOUS LOCATIONS.

FOR UNRATED CONSTRUCTION  
EDGE OF EAVE OVERHANG  
MUST BE AT LEAST FIVE  
FEET FROM PROPERTY LINE.

FIELD COPY

**SITE PLAN  
GENERAL NOTES:**

- A. CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION, SITE IMPROVEMENTS, ETC. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS TO FACILITATE THE COMPLETION OF ALL REQUIRED NEW WORK. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL QUANTITIES AND ITEMS REQUIRED TO BE REMOVED PRIOR TO SUBMITTAL OF PROPOSAL.
- B. SLOPE ALL GRACES AND PAVEMENT AWAY FROM BUILDING TO PROVIDE POSITIVE DRAINAGE, UNLESS NOTED OTHERWISE.
- C. FRESH GRADE AT WALKWAYS, BUILDINGS, ETC. AS REQUIRED TO PROVIDE SMOOTH TRANSITION TO GRADE. ADD TOPSOIL AS REQUIRED. RAISE LANDSCAPE AREAS TO PROVIDE POSITIVE DRAINAGE. RE SEED OR REPLANT DISTURBED AREAS AS REQUIRED.
- D. ANGLES INDICATED ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- E. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE ON A CONTINUING BASIS FOR THE DURATION OF CONSTRUCTION.
- F. TYPICALLY ALL NEW CONCRETE WALKS SHALL HAVE EXPANSION JOINTS AT A MAXIMUM SPACING OF 20' 0" C.I. AND CONTROL JOINTS AT 5' 0" D.C., UNLESS OTHERWISE NOTED OR INDICATED.
- G. SHOULD SLOPES OF GREATER THAN 1" IN 20' OCCUR AT PAVEMENT LOCATIONS, NOTIFY ARCHITECT IMMEDIATELY.
- H. DIMENSIONS ARE TO OUTSIDE FACE OF STEM WALLS/ FOUNDATIONS UNLESS NOTED OTHERWISE.
- I. ALL AREAS DISTURBED BY CONSTRUCTION, STAGING, ETC. SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ORIGINAL CONDITION.
- J. ALL MECHANICAL EQUIPMENT (AIR CONDITIONERS, POOL EQUIPMENT, ETC.) SHALL BE SCREENED A MINIMUM OF ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SITES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING.
- K. NO NATIVE PLANTS SHALL BE DISTURBED BY THE CONSTRUCTION OF THIS PROJECT.
- L. POOLS REQUIRE SEPARATE APPROVAL AND PERMIT.
- M. POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, ONTO ADJACENT LOTS OR TRACTS OF LAND.
- N. GUESTHOUSE OR ACCESSORY STRUCTURE SHALL NOT EXCEED A GROSS FOOTPRINT SIZE GREATER THAN 50% THE FOOTPRINT OF THE PRINCIPAL BUILDING.



DESIGN TANK ©  
1504 E CAMELBACK ROAD, SUITE 120-411  
PHOENIX, AZ 85016  
602.960.6262

CASA AZUL DOUBLE STORY  
 LOT 9  
 6324 N 10th Drive Phoenix, AZ 85013

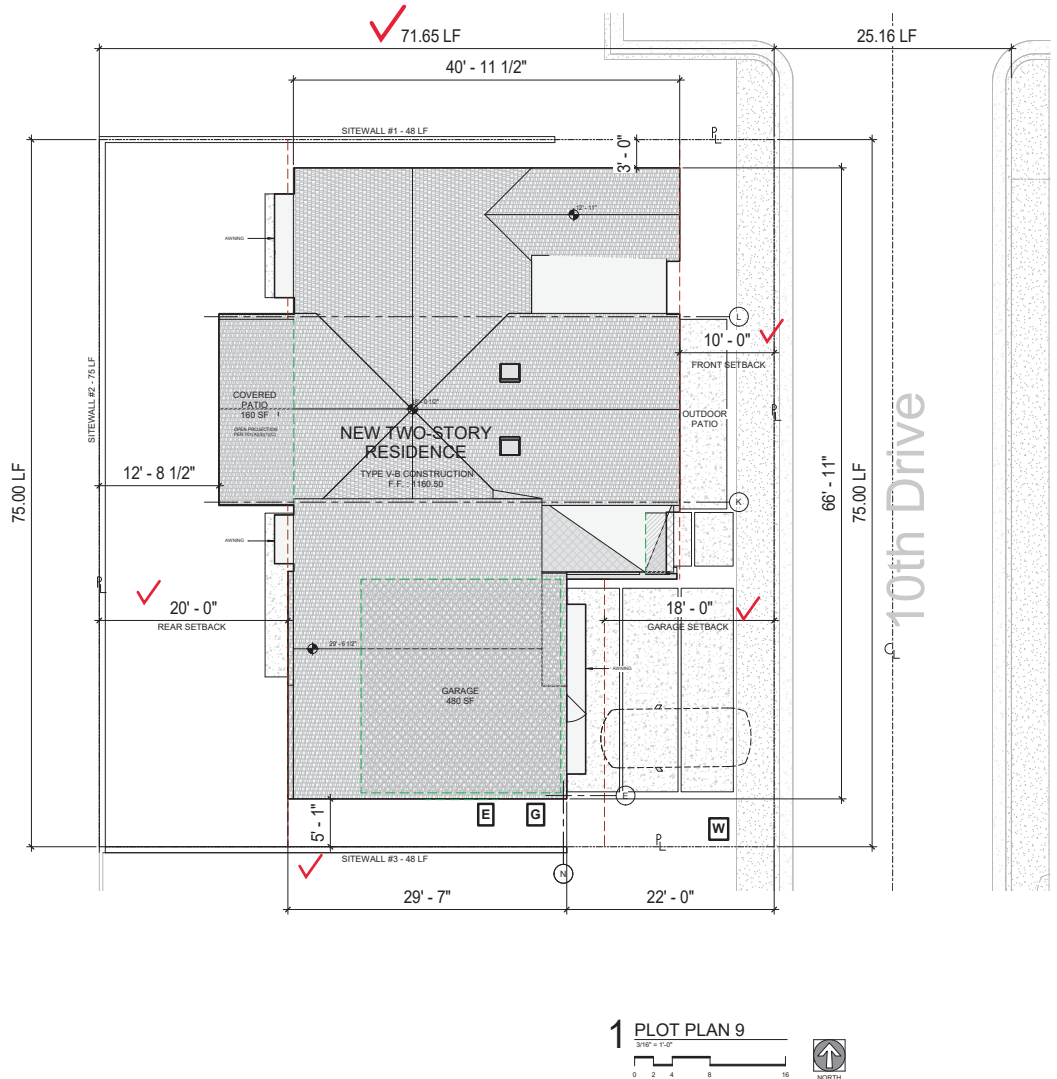
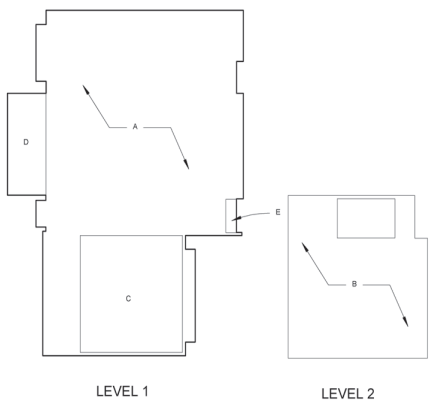
CITY OF PHOENIX  
 Planning and Development Department  
 By *Semir Amini-Arabi*  
 (SIMIN AMINI-ARABI)  
02/08/2022  
 This set of plans has been reviewed for PHOENIX CONSTRUCTION CODE prior to issuance of Building Permit and shall be kept at the construction site. Such review shall not prevent the Building Official from requiring correction of errors in the plans where such errors are subsequently found to be in violation of any law or ordinance.

**PROPOSED SF:**

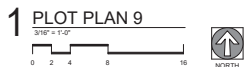
A. LEVEL 1 - LIVEABLE (incl. stairs)	1,898 SF
B. LEVEL 2 - LIVEABLE	798 SF
<b>TOTAL LIVEABLE</b>	<b>2,696 SF</b>
C. GARAGE	480 SF
D. COVERED PATIO	160 SF
<b>TOTAL PATIOS</b>	<b>160 SF</b>
E. COVERED PORCH	14 SF
<b>TOTAL PORCH</b>	<b>14 SF</b>
<b>TOTAL UNDER ROOF</b>	<b>3,350 SF</b>

**OPTIONS SF AND SELECTION (YES/NO):**

- NO OPTION B, SHEET A103B +/- 0 SF
- NO MIRRORRED PLAN +/- 0 SF



FF: 1160.50  
 PAD: 1159.83



**PROJECT CODE  
INFORMATION:**

**ZONING DATA:**  
 RESSSES PARCEL NUMBER: 196-28-173  
 BASE ZONE: R-3 (PFD OPTION)  
 LOT AREA: 6,334.67  
 SUBDIVISION: CASA AZUL  
 LOT NUMBER: 9  
 OVERLAYS: N/A  
 SETBACKS PERMETER:  
 FRONT: 10 FEET  
 REAR: 18' 11" STORY, 20' (3 STORY)  
 SIDE: 0 FEET INTERIOR LOT, 5 FEET PERMETER LOT  
 SETBACKS INTERIOR:  
 FRONT: 10 FEET  
 REAR: NONE  
 SIDE: NONE  
 MIN. GARAGE SETBACK: 18 FEET  
 MIN. BUILDING SEPARATION: 10 FEET

**SPRINKLER DATA:**  
 EXISTING RESIDENTIAL  
 SPRINKLER SYSTEM: NO  
 MINIMUM REQUIRED FLOW SHALL BE 1,500 GPM FOR TWO HOURS (TYPE V-B CONSTRUCTION 6-3600 SF) PER I.F.C. TABLE 8-105.1

**BUILDING/SITE DATA:**  
 OCCUPANCY: SINGLE FAMILY RES.  
 TYPE OF CONSTRUCTION: V-B  
 NUMBER OF STORES: ONE  
 BUILDING HEIGHT: MAXIMUM PERMITTED, 30 FEET  
 PROVIDED: 18'-11" STORY  
 FLOODPLAIN (SFP): NO  
 AREA CALCULATIONS: SEE SF TABLE

Total Site SF	105,399
less streets, drive aisle, ROW (SF)	(19,812)
<b>Site Available SF</b>	<b>85,583</b>

Lot Number	Primary Structure Footprint (SF)	Shade Structure (SF)
1	2,191	202
2	1,809	202
3	3,160	299
4	3,160	299
5	3,160	299
6	3,160	299
7	2,378	174
8	2,378	174
9	2,378	174
10	2,378	174
11	2,286	215
12	1,989	212
<b>SF UTILIZED</b>	<b>30,332 35.44%</b>	<b>2,744 3.21%</b>
<b>SF ALLOWED</b>	<b>34,233.20 40%</b>	<b>8,659.30 10%</b>

**LEGEND:**

- W WATER METER
- G GAS METER
- E ELECTRIC METER
- P PROPERTY LINE
- C CENTER LINE

REVISION	DATE	REASON FOR ISSUE



EXPRES 9/30/2023

**PLOT PLAN**  
**PERMIT SET**

DATE	REVISION
2021-07-15	
PROJECT NUMBER 000000	SHEET NUMBER
SCALE As indicated	<b>A101-9</b>