

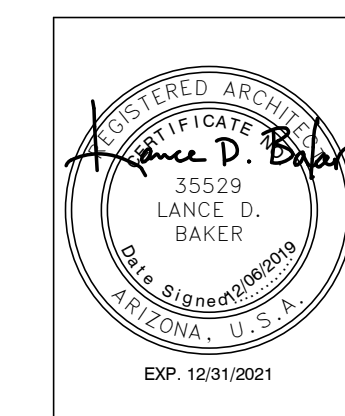
FLEETWOOD 6 TOWNHOMES

SCOTTSDALE, AZ



FLEETWOOD 6 TOWNHOMES
SINGLE FAMILY/ ATTACHED DEVELOPMENT

6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251



REVISIONS	
1	12/06/19 [1st City Comments]

Phase: CD
 Drawn By: NYK
 Reviewed By: LDB
 SDI Project No: 3876
 Date: 12/06/2019

Sheet:
A0.1
 COVER SHEET

GOVERNING CODES

- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)
- 2015 INTERNATIONAL PLUMBING CODE (IPC)
- 2015 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2014 NATIONAL ELECTRICAL CODE (NEC)

ALL CITY OF SCOTTSDALE CODES AND AMENDMENTS

SPECIAL INSPECTIONS

- STRUCTURAL - CONCRETE CONSTRUCTION
- STRUCTURAL - POST INSTALLED ANCHORS
- STRUCTURAL - MASONRY CONSTRUCTION
- STRUCTURAL - WELDS NOT IN SHOP OF APPROVED FABRICATOR
- STRUCTURAL - ANCHOR BOLTS
- SOILS - SPECIAL GRADING, EXCAVATION & FILL

DEFERRED SUBMITTALS

- SIGNAGE (UNDER SEPARATE PERMIT)
- WOOD TRUSS & CALCULATIONS
- FIRE SPRINKLERS/FIRE PROTECTION (UNDER SEPARATE PERMIT)
- SEE STRUCTURAL FOR ADDITIONAL DEFERRED SUBMITTALS

PROJECT DATA

BUILDING AND SITE BASICS:

PROJECT ADDRESS: 6900 E 1ST AVENUE
 SCOTTSDALE, AZ, 85251

ASSESSORS PARCEL #: 130-11-055
 130-11-056

NET LOT AREA: 13,150 S.F., 0.302 ACRES
 GROSS LOT AREA: 20,926 S.F., 0.480 ACRES

BUILDING AREA TOTAL: 5,178 S.F.
 FOOTPRINT: 12,310 S.F.
 GROSS: 12,310 S.F.

No. OF TOWNHOMES: 4
 2 BEDROOM
 2 1 BEDROOM
 TOTAL 6

SITE INFORMATION:

ZONING: C-2 DO (DOWNTOWN)

FLOOR AREA RATIO: MAX 1.30
 12,310 / 13,150 = .91

PROPOSED SETBACKS:

FRONT 19'
 NORTH SIDE 0'
 SOUTH SIDE 16'
 REAR 5'

MAX DENSITY: 23 DWELLING UNITS / ACRE
 23 x 0.480 = 11.04 DU ALLOWED

PROPOSED DENSITY: 6 DWELLING UNITS

OPEN SPACE

PRIVATE OPEN SPACE REQUIRED: 12,310 x 0.10 = 1,231 SF
 PROVIDED: 4,491 SF
 FRONTAGE OPEN SPACE PROVIDED: 1,127 SF

PROJECT DATA

BUILDING CODE INFORMATION:

BUILDING OCCUPANCY: SINGLE-FAMILY ATTACHED RESIDENTIAL
 STORIES: 3

BUILDING HEIGHT: ALLOWED: 66'
 PROPOSED: 42'

AREA SEPARATIONS REQUIRED: 1 HR (TABLE R302.1(2))
 PROVIDED: 1 HR

FIRE SPRINKLERS REQUIRED: YES
 FIRE SPRINKLERS PROVIDED: YES NFPA 13D

FIRE ALARM REQUIRED: NO
 FIRE ALARM PROVIDED: NO

PARKING REQUIRED: 1.7 X 6 UNITS = 10.2
 PARKING PROVIDED: 10 STANDARD SPACES
 *NOTE: SEE SITE PLAN FOR LOCATION OF ADAPTABLE ADA GARAGE PROVIDED. NO BICYCLE PARKING REQUIRED OR PROVIDED

REQUIRED U-FACTORS:

WOOD FRAME WALL: R-21
 FLOOR: R-13
 CEILING: R-38
 SLAB: R-0
 PROVIDE
 REQUIRED FENESTRATION SHGC: 0.25

PROJECT NARRATIVE

PROJECT CONSISTS OF A NEW BUILDING WITH SIX (6) SINGLE FAMILY ATTACHED UNITS. EACH UNIT CONSISTS OF A THREE STORY TOWNHOUSE UNIT WITH GARAGE ON THE GROUND FLOOR. TOWNHOUSE WILL BE DESIGNED AND CONSTRUCTED PER THE INTERNATIONAL RESIDENTIAL CODE.

PROJECT TEAM

OWNER:
 Blueprint Capital Services, LLC
 5815 E. Calle Del Norte
 Phoenix, Arizona 85018
 T. 206.909.6136

Contact: Dan Duffus

ARCHITECT:
 Synectic Design, Inc.
 1111 W University Drive, Suite 104
 Tempe, Arizona 85281
 T. 480.948.9766

Contact: Lance D. Baker, AIA

MECHANICAL ENGINEER:
 Design Management Solutions
 13452 N 78th Place
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 T. 602.918.0115

Contact: Andreas Pluntke

PLUMBING ENGINEER:
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 T. 602.918.0115

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ELECTRICAL ENGINEER:
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Contact: Andreas Pluntke

STRUCTURAL ENGINEER:
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 16597 N. 92nd St., Suite 111
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 T. 480.941.2367

CONTACT: Devon Furstenau

LANDSCAPE ENGINEER:
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 10450 N 74th Street, Suite 120
 Scottsdale, Arizona 85258
 T. 602.265.0320

Contact: Tim McQueen RLA, ASLA

CIVIL ENGINEER:
 Land Development Group
 8808 N Central Ave, Suite 288
 Phoenix, Arizona 85020
 T. 602.889.7984

Contact: Nick Prodanov, PE, PMP

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- A0.2 ABBREVIATIONS, SYMBOLS & GENERAL NOTES

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- A2.2 3RD FLOOR & ROOF DECK
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- A3.3 UNITS 1 & 6 ENLARGED PLANS & INTERIOR ELEVATIONS
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- S1.2 SECOND AND THIRD FLOOR FRAMING PLAN
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- S3.5 STRUCTURAL DETAILS
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MECHANICAL

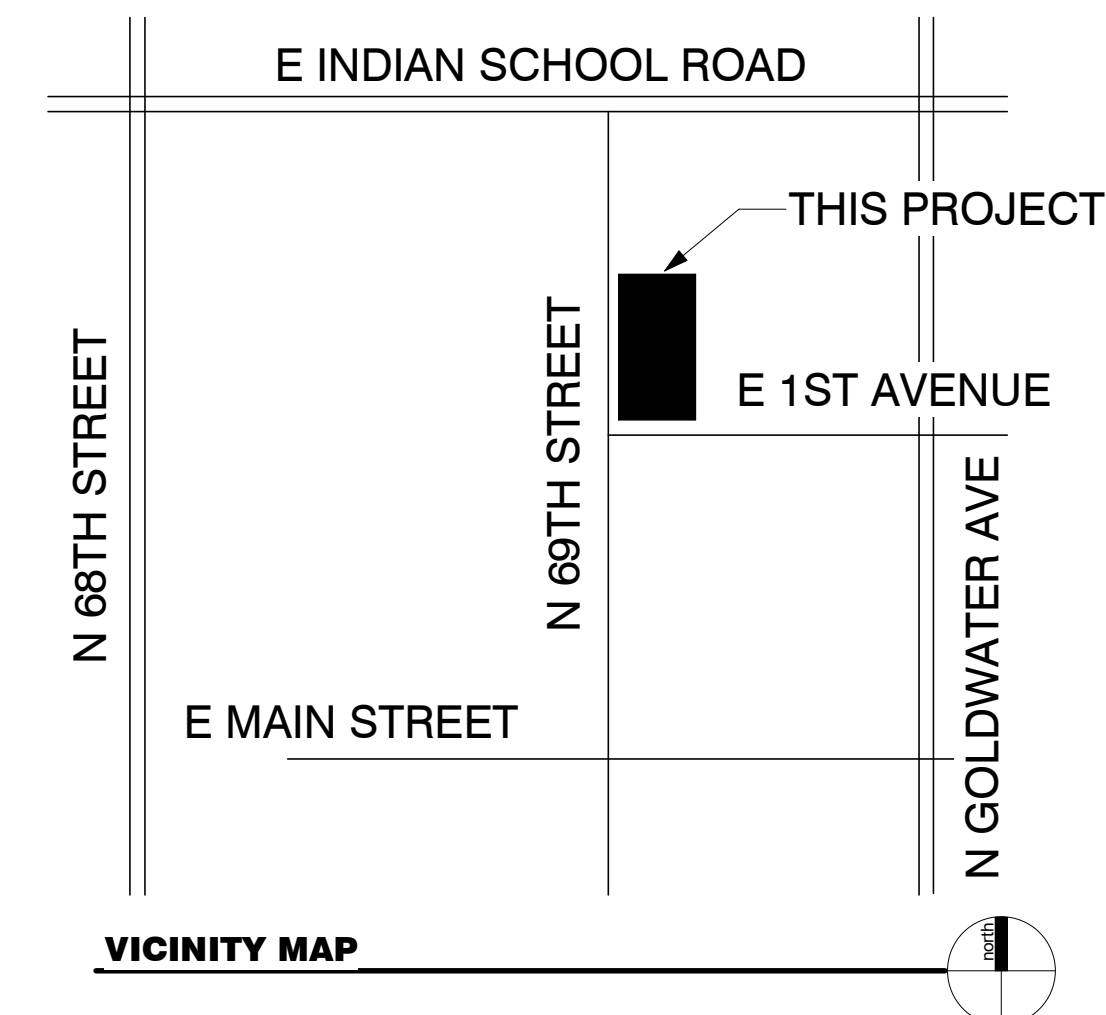
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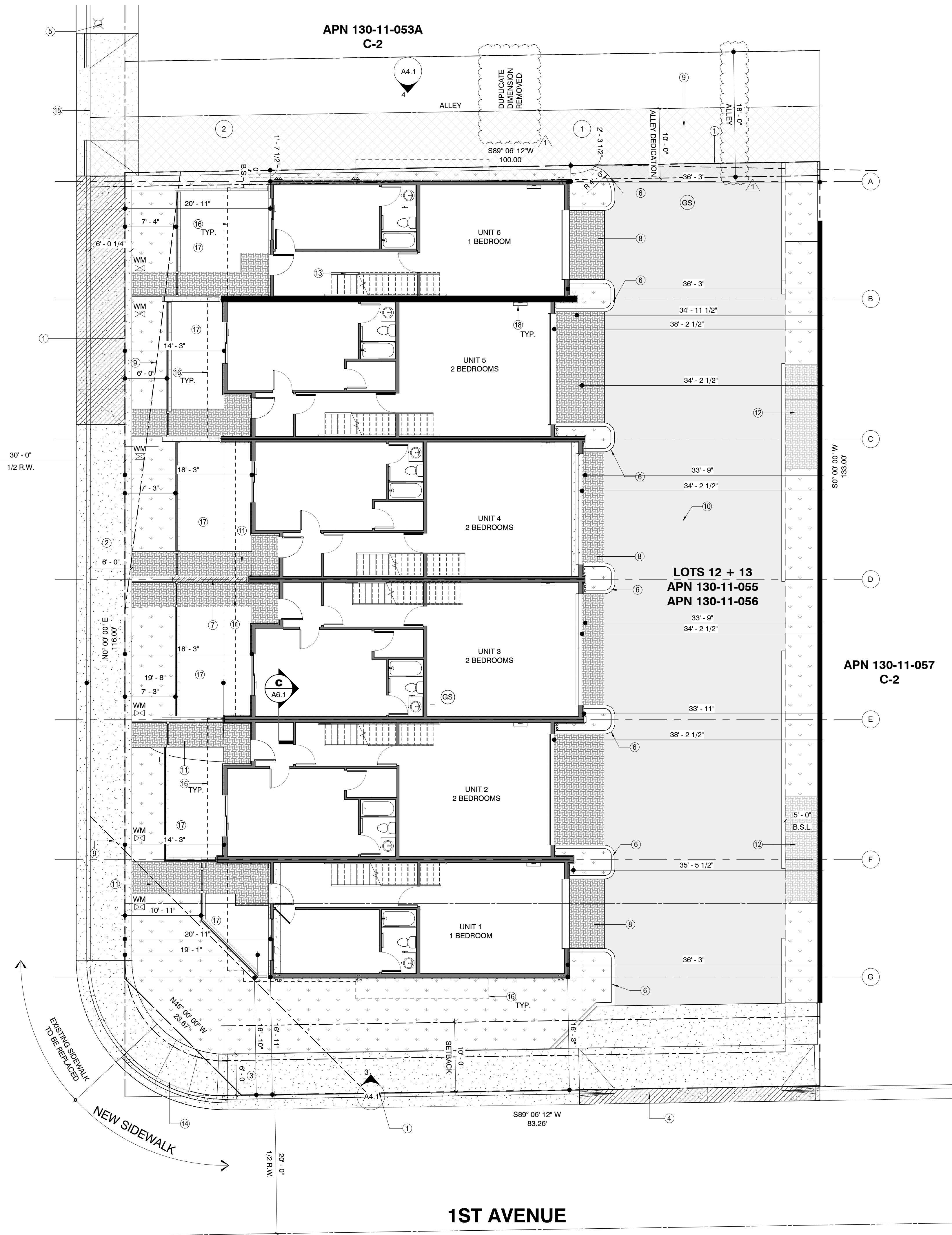
- E1 ELECTRICAL COVER SHEET
- E2 PANEL SCHEDULES
- E2.1 COMCHECK & LIGHTING SCHEDULE
- E3 LIGHTING PLAN
- E3.1 LIGHTING PLAN
- E3.2 SITE LIGHTING PLAN
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- E4 POWER PLAN
- E5 SPECIFICATIONS



VICINITY MAP

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69th STREET



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PROJECT CONSISTS OF A NEW BUILDING WITH SIX (6) SINGLE FAMILY ATTACHED UNITS. EACH UNIT CONSISTS OF A THREE STORY TOWNHOUSE UNIT WITH GARAGE ON THE GROUND FLOOR. TOWNHOUSE WILL BE DESIGNED AND CONSTRUCTED PER THE INTERNATIONAL RESIDENTIAL CODE.

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 13452 N 78th Place
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KEYNOTES

- 1 PROPERTY LINE
- 2 EXISTING SIDEWALK
- 3 6" WIDE CONCRETE SIDEWALK
- 4 DEMO EXISTING DRIVEWAY, CURB AND GUTTER AT THIS LOCATION. REPLACE WITH NEW DRIVE ENTRY.
- 5 EXISTING STREET LAMP
- 6 6" CONCRETE CURB
- 7 8" CMU COURTYARD WALL - SEE ELEVATIONS FOR FINISHES
- 8 PAVEMENT DRIVEWAY APPROACH
- 9 10-FOOT ALLEY DEDICATION
- 10 ASPHALT DRIVEWAY
- 11 PAVEMENT WALKWAY
- 12 THIS AREA OF LANDSCAPING TO BE RESERVED FOR TRASH BINS. DO NOT PLACE VEGETATION THAT WILL INTERFERE WITH TRASH COLLECTION
- 13 EXISTING SIGHT LINE VIEW EASEMENT
- 14 EXISTING CURB AND ADA COMPLIANT RAMP TO REMAIN
- 15 ALLEY DRIVEWAY
- 16 LINE OF STRUCTURE ABOVE
- 17 YARD
- 18 ELECTRIC PANEL

SITE PLAN GENERAL NOTES

- A. CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT IN WRITING OF ANY DISCREPANCY BETWEEN THE SITE CONDITIONS AND THESE DOCUMENTS THAT WILL IMPACT COMPLIANCE WITH THESE DOCUMENTS.
- B. FINISH FLOOR SHALL BE A MINIMUM OF 6" ABOVE ADJACENT GRADE U.O.N.
- C. FINISH GRADE SHALL SLOPE 5% FOR A DISTANCE OF 10' TO AN APPROVED WATER DISPOSAL AREA. U.O.N.
- D. FIRE TRUCK TURNING RADIUS SHALL COMPLY WITH FIRE ORDINANCE 4045, 503.2.1 AND PROVIDE UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES.
- E. INTERNAL MECHANICAL AISL TO SUPPORT 83,000 LBS OF GROSS VEHICLE WEIGHT (PER SECTION 2-1.802 OF DSPM)
- F. NO PROTECTED TREES ON SITE.
- G. WATER METER LOCATION TO BE CONFIRMED WITH CIVIL PLANS.
- H. REFER TO LANDSCAPING PLANS FOR DETAILS, MATERIALS AND LAYOUT.

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 SCOTTSDALE, AZ, 85251

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 GROSS: 12,310 S.F.

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 2 BEDROOM 4
 1 BEDROOM 2
 TOTAL 6

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ZONING: C-2 DO (DOWNTOWN)

FLOOR AREA RATIO: MAX 1.30
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 NORTH SIDE 0'
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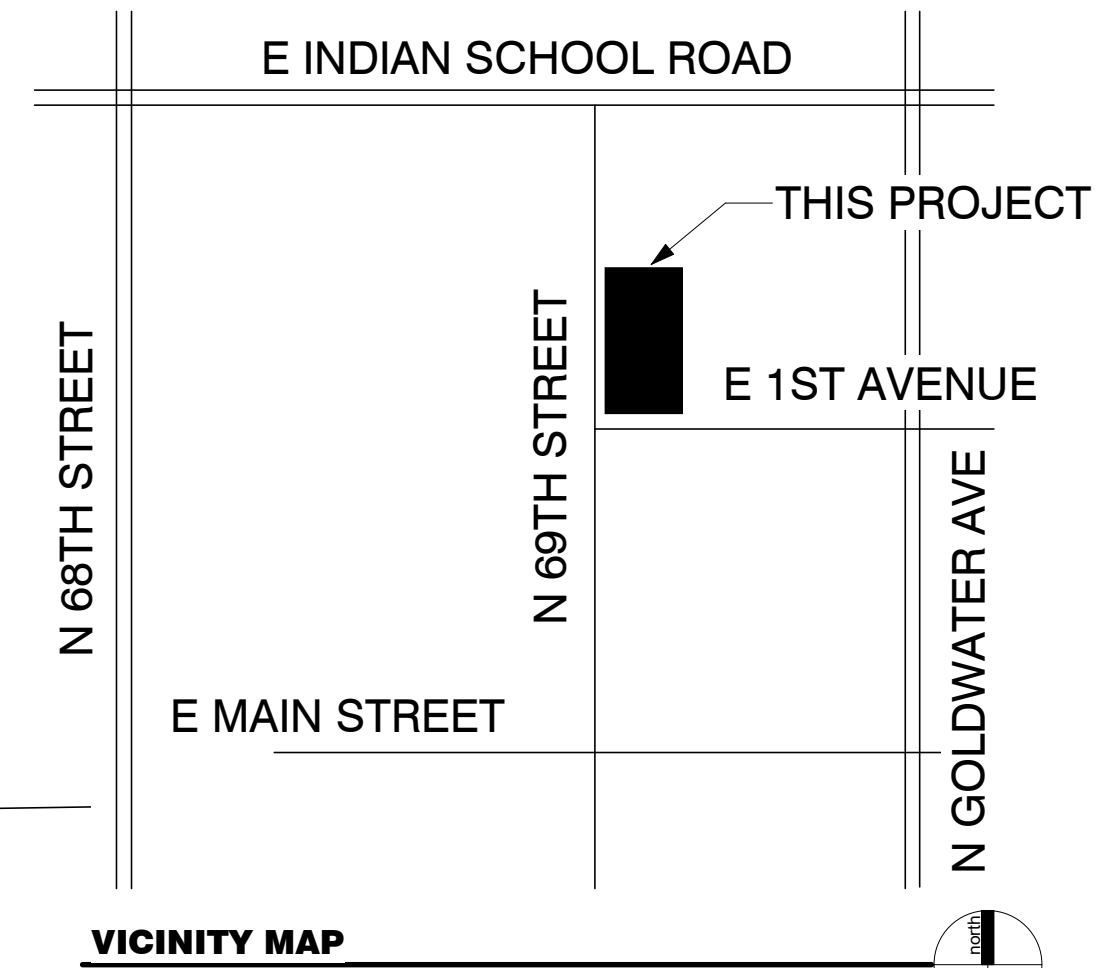
AREA SEPARATIONS
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 PROVIDED: 1 HR

FIRE SPRINKLERS REQUIRED: YES
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FIRE ALARM REQUIRED: NO
 FIRE ALARM PROVIDED: NO

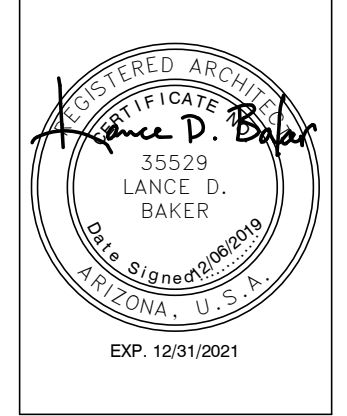
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 PARKING PROVIDED: 10 STANDARD SPACES
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REQUIRED U-FACTORS:
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 FLOOR: R-13
 CEILING: R-38
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 PROVIDE
 REQUIRED FENESTRATION SHGC: 0.25



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**FLEETWOOD 6 TOWNHOMES
 SINGLE FAMILY/ ATTACHED DEVELOPMENT**
 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251



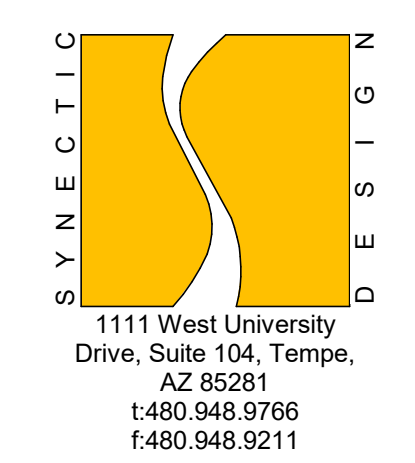
REVISIONS

1	12/06/19	1st City Comments
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Phase: CD
 Drawn By: Author
 Reviewed By: Checker
 SDI Project No: 3876
 Date: 12/06/2019

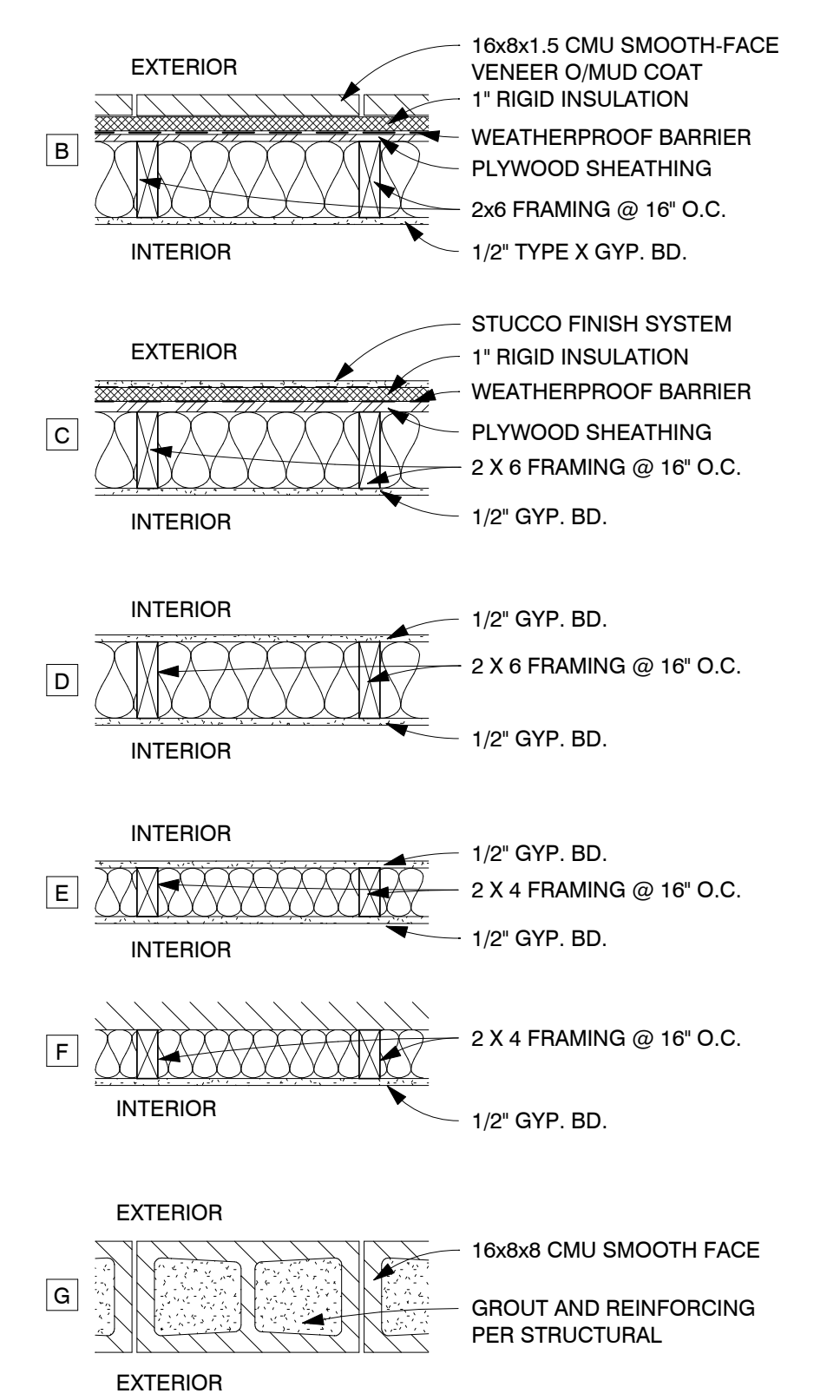
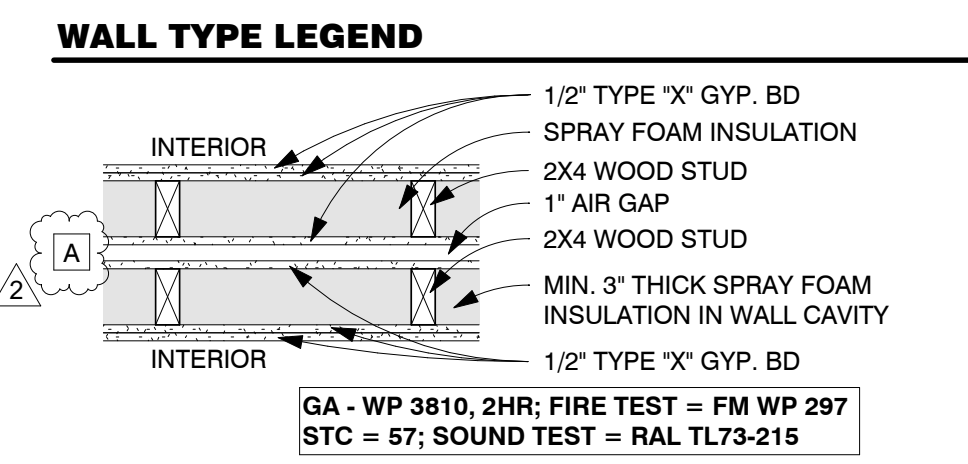
Sheet:
A1.1
 ARCHITECTURAL SITE PLAN

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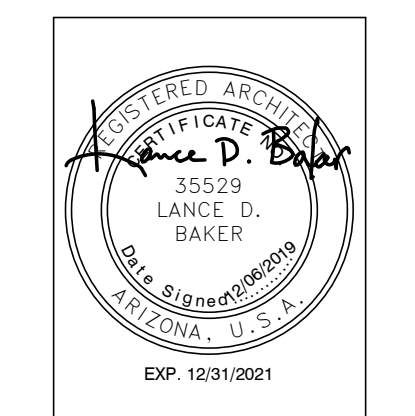
- OVERALL BLDG PLAN GENERAL NOTES**
- FOR INTERIOR WALL LOCATIONS, REFER TO UNIT FLOOR PLANS
 - REFER TO DOOR AND WINDOW SCHEDULES FOR STYLE AND SIZE.
 - ALL FINISHES TO BE PER OWNER SPEC
 - D ALL WINDOWS TO BE RECESSED MINIMUM 50% OF WALL DEPTH
 - E ALL EXTERIOR DOORS TO BE RECESSED MINIMUM 30% OF WALL DEPTH
 - F ALL WINDOWS DIMENSIONED TO CENTER UNLESS OTHERWISE NOTED.

- KEYNOTES**
- 5/8" TYPE 'X' GYP BOARD TO BE AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE
 - ELECTRIC PANEL
 - METAL GATE WITH DECORATIVE WIRE MESH SCREENS, PAINTED
 - PARTIAL VIEW FENCE ON TOP OF CMU WALL - SEE DETAIL 15/A7.1
 - METAL FASCIA AT AWNING, PAINTED
 - BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
 - VERTICAL ROOF DRAIN LEADER LOCATION, VERIFY MIN. SLOPE REQUIREMENTS FOR HORIZONTAL TRANSITIONS



- NOTES:**
- USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS
 - USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS
 - USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS
 - PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
 - PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS. USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP SEPARATED BY MIN. 1/2" GYPSUM BOARD OR OTHER APPROVED THERMAL BARRIER PER IRC SECTION 318.4
 - PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS
 - ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE

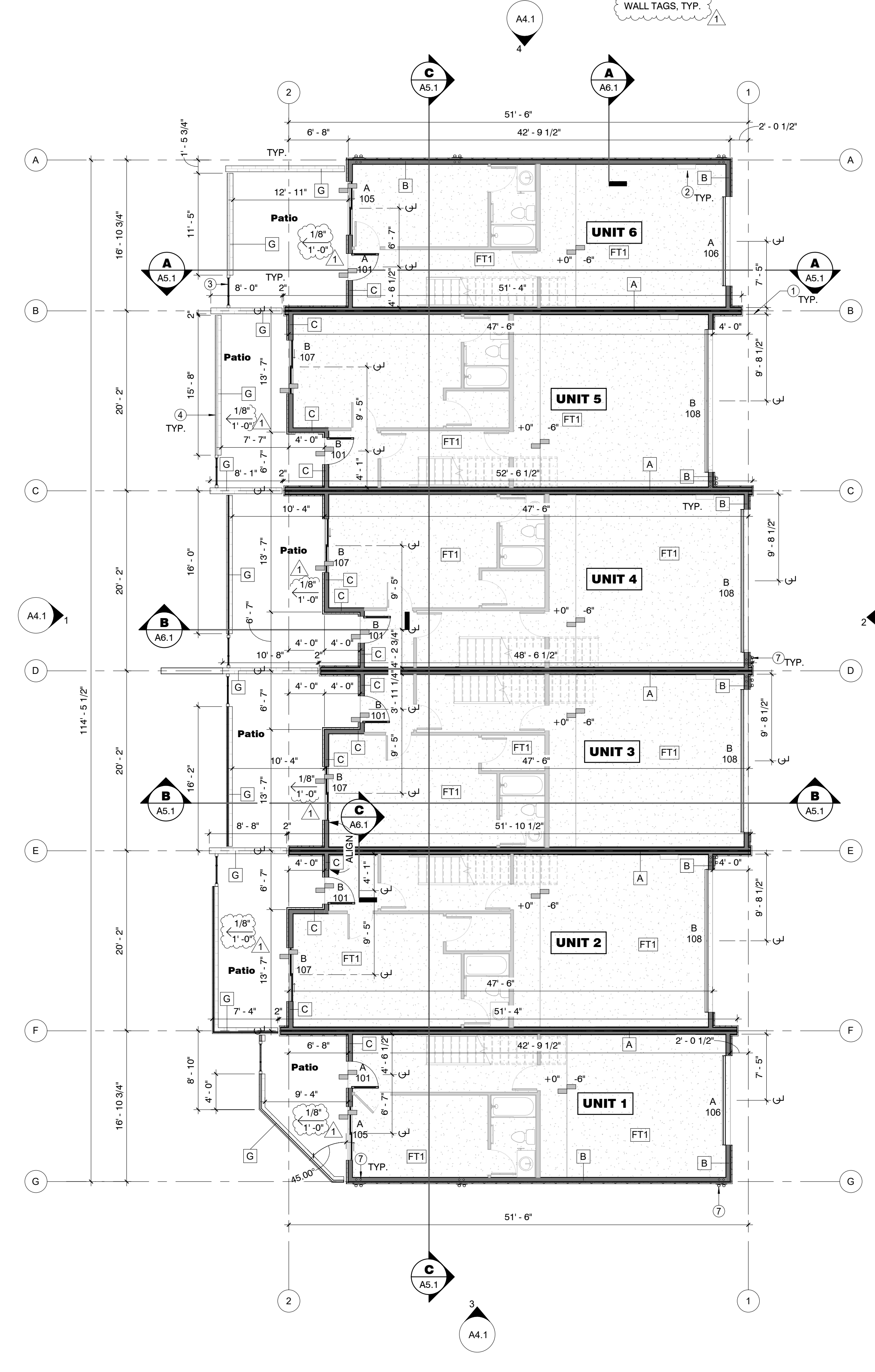
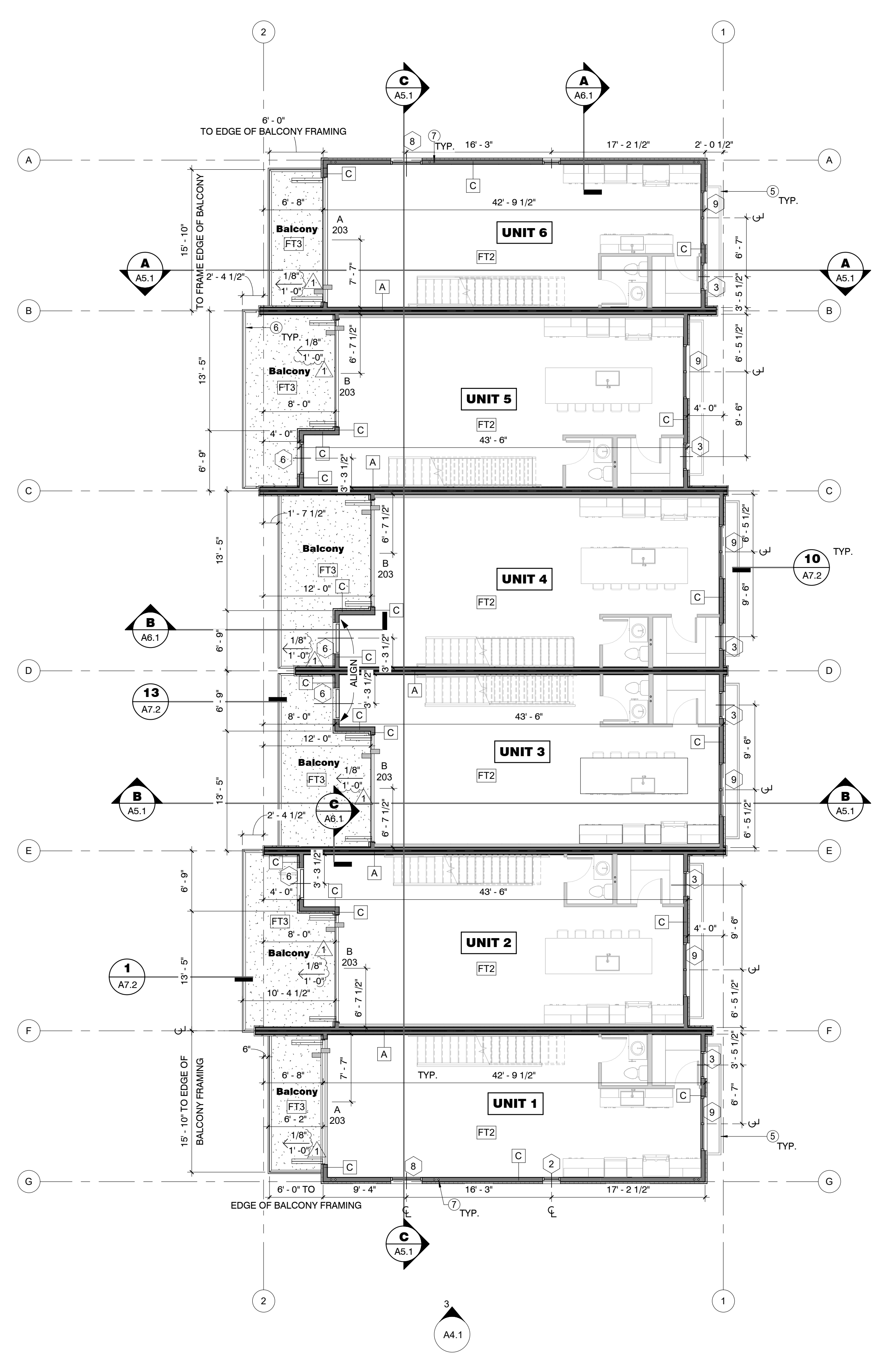
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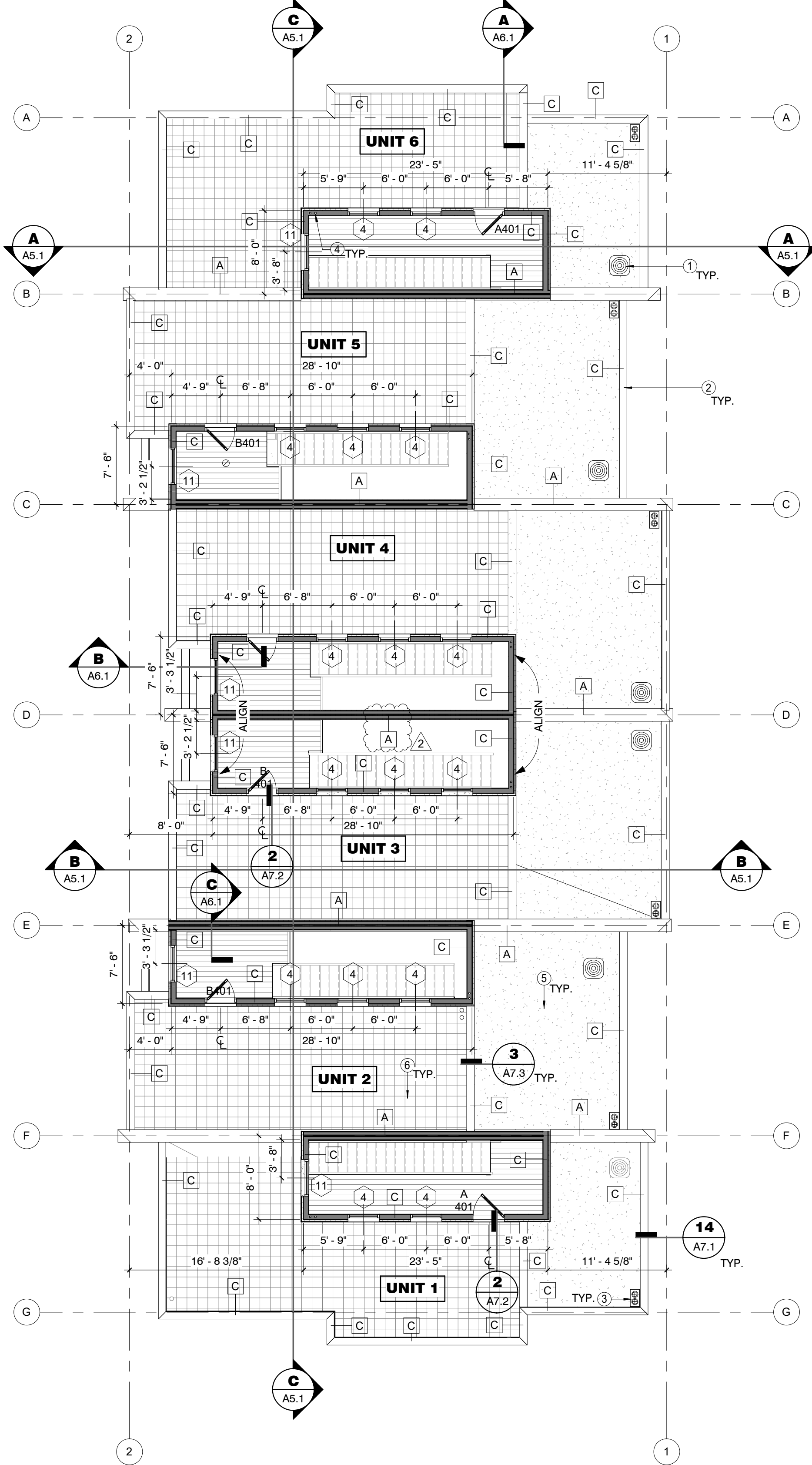
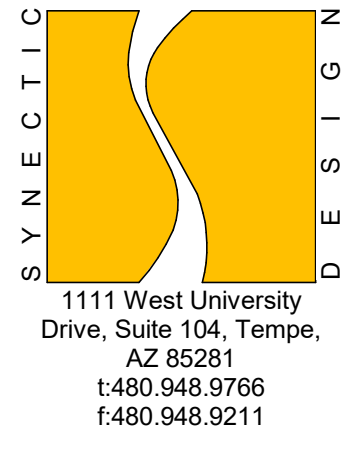
Phase: CD
 Drawn By: RFD
 Reviewed By: LDB
 SDI Project No: 3876
 Date: 12/06/2019

Sheet:
A2.1
 1ST & 2ND FLOOR PLANS

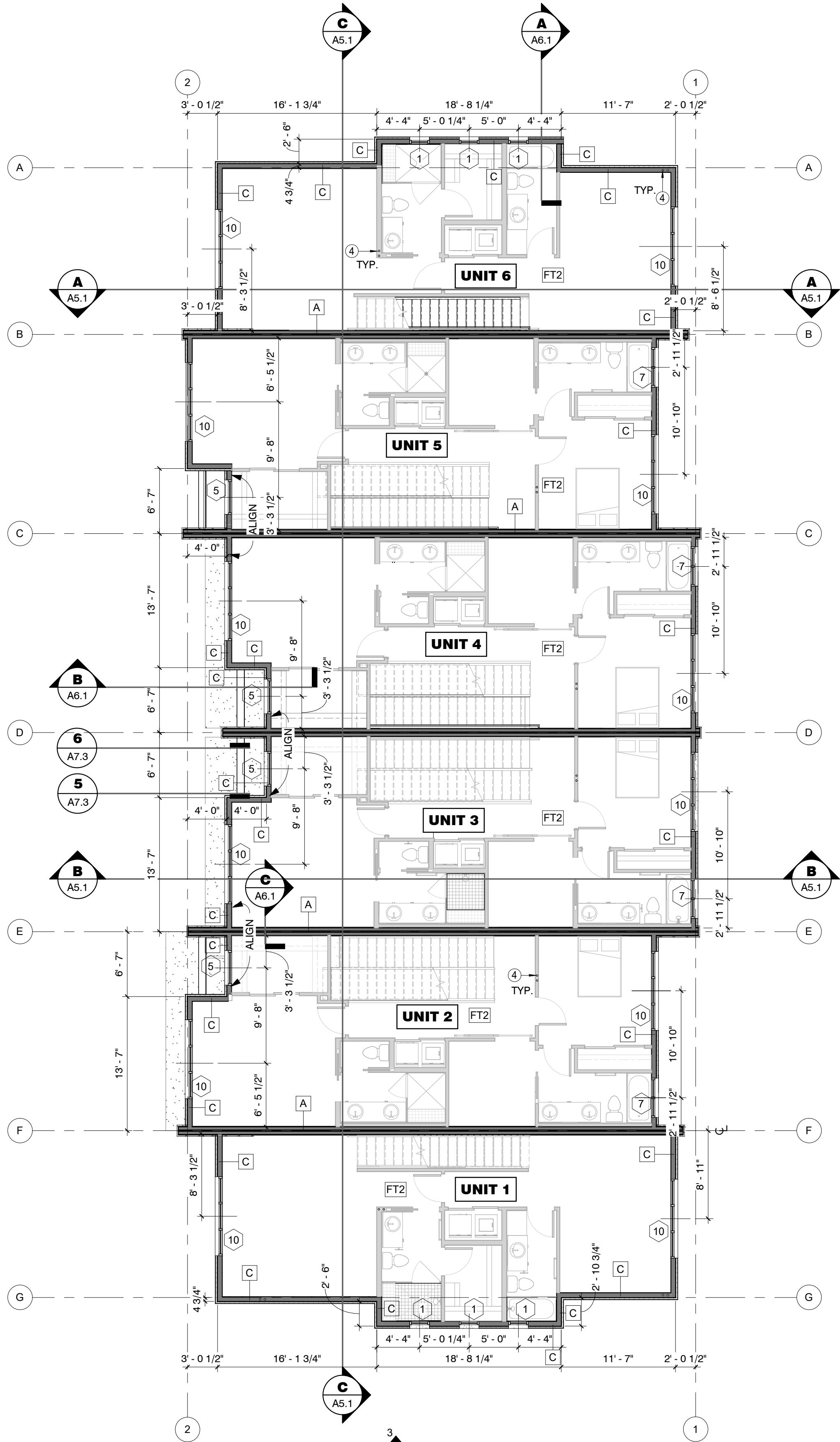


- NOTES:**
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS

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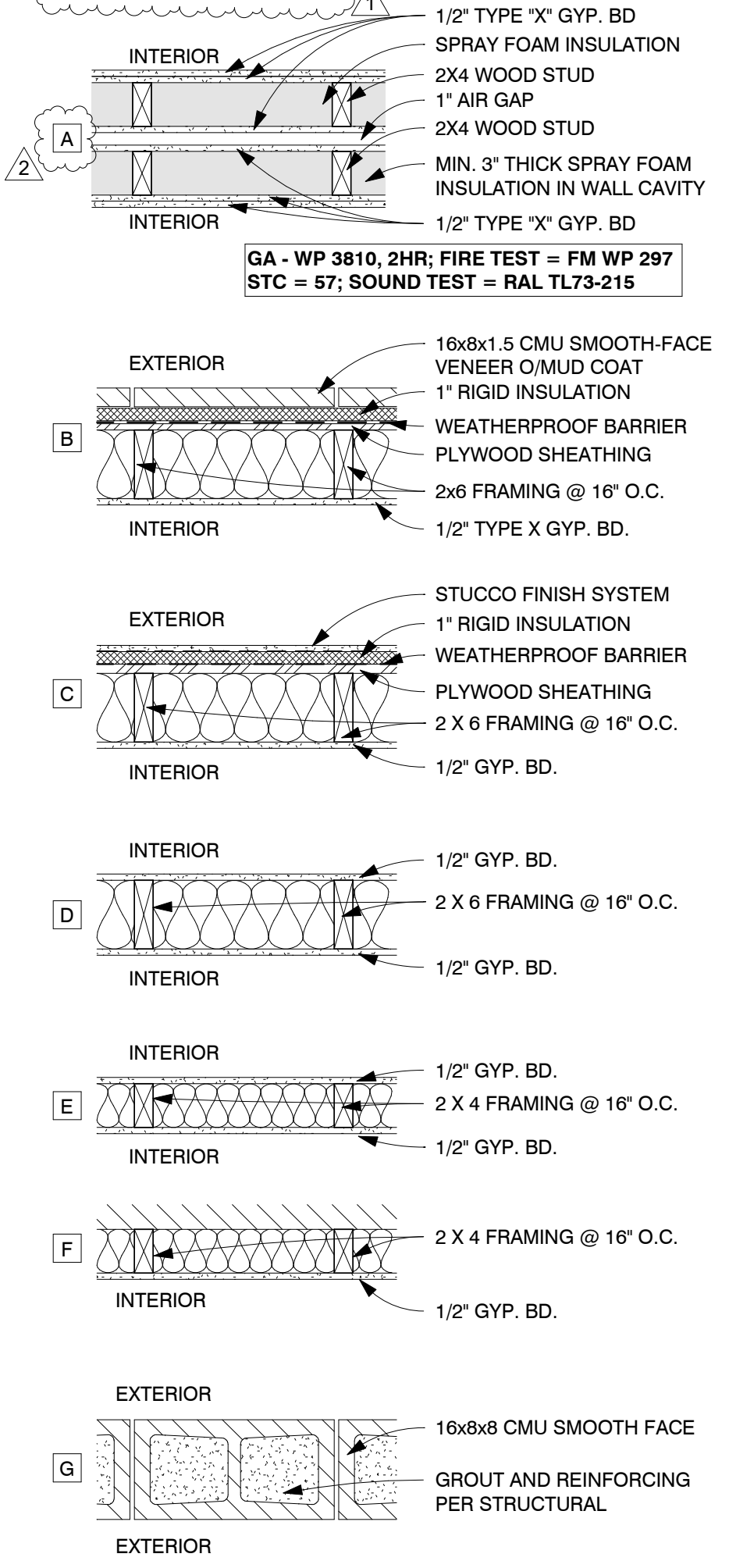
2 BUILDING FLOOR PLAN - ROOF DECK
 1/8" = 1'-0"



1 BUILDING FLOOR PLAN - 3rd FLOOR
 1/8" = 1'-0"

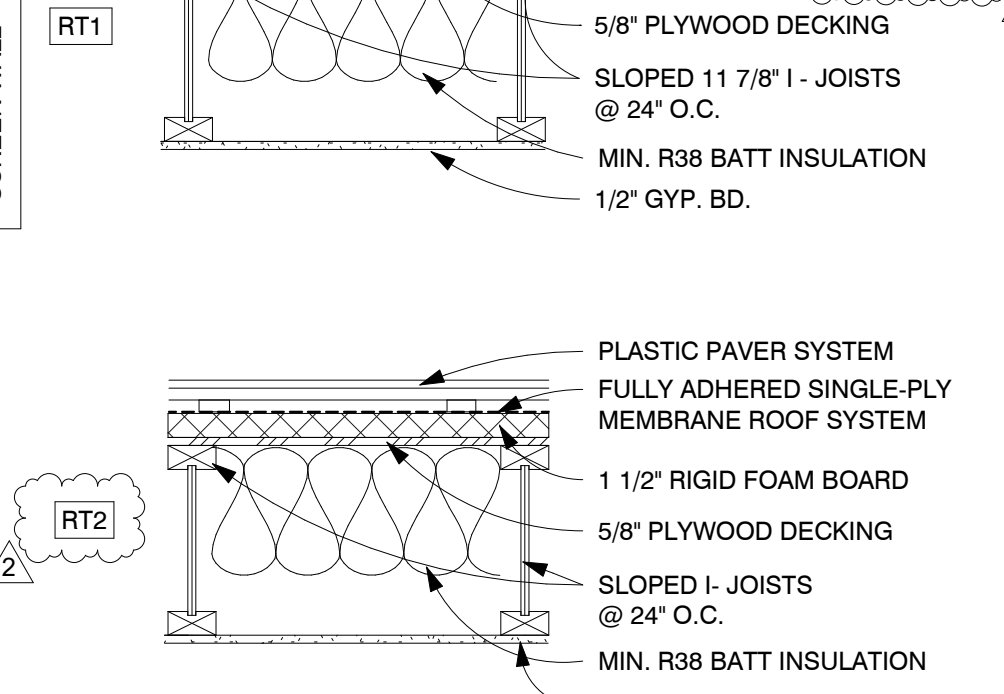
- KEYNOTES**
- MECHANICAL UNIT, TYP. TO BE FULLY SCREENED BY PARAPET
 - SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1
 - ROOF DRAIN-OVERFLOW, SEE DETAIL 7/A7.2
 - VERTICAL ROOF DRAIN LEADER LOCATION, VERIFY MIN. SLOPE REQUIREMENTS FOR HORIZONTAL TRANSITIONS
 - SPRAY FOAM ROOFING
 - ROOF DECKING

- OVERALL BLDG PLAN GENERAL NOTES**
- FOR INTERIOR WALL LOCATIONS, REFER TO UNIT FLOOR PLANS
 - REFER TO DOOR AND WINDOW SCHEDULES FOR STYLE AND SIZE.
 - ALL FINISHES TO BE PER OWNER SPEC.
 - WINDOWS TO BE RECESSED MINIMUM 50% OF WALL DEPTH.
 - DOORS TO BE RECESSED MINIMUM 30% OF WALL DEPTH.
 - ALL MECHANICAL EQUIPMENT TO BE SCREENED BY PARAPET WALLS.
 - WINDOW DIMENSIONS ARE TO CENTER OF WINDOW UNLESS OTHERWISE NOTED



- NOTES:**
- USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS
 - USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS
 - USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS
 - PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
 - PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS. USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP SEPARATED BY MIN. 1/2" GYPSUM BOARD OR OTHER APPROVED THERMAL BARRIER PER IRC SECTION 316.4
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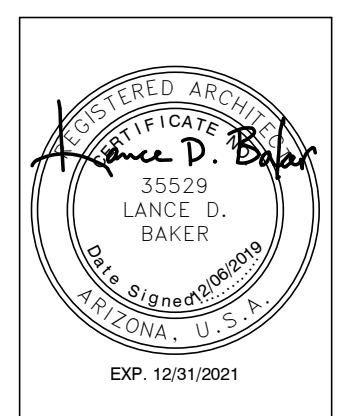
- NOTES:**
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS
 - PROVIDE THERMAL INSULATION AT ALL EXTERIOR WALLS CONTINUOUS
 - PROVIDE MOISTURE RESISTANT GYP. BD. AT ALL WET AND MOISTURE PRONE AREAS, TYP.
 - REFER TO IECC SECTION R402 COMPLIANCE TABLE, BASIS OF DESIGN, INSULATION VALUES AND ADDITIONAL INJIS BASF SKYTTITE C1-2.5 SERIES.
 - PROVIDE BATT INSULATION IN FLOOR / COR APPROVED EQUAL TO IE NON-CONDITIONED SPACE IS ABOVE OR COMPLY WITH UL 1256
 - FINAL FINISH SELECTION PER OWNER SPECIFICATIONS



- NOTES:**
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS
 - REFER TO IECC SECTION R402 COMPLIANCE TABLES, FOR REQUIRED INSULATION VALUES AND ADDITIONAL INFORMATION
 - PROVIDE BATT INSULATION OF CLASS 'A' FIRE RATING WITH FLAME SPREAD INDEX OF 0-25 AND SMOKE DEVELOPED INDEX OF 0-450 BASIS OF DESIGN FOR PLASTIC PAVER SYSTEM IS 12"x12" RUGGED GRIP-LOC TILES, COLOR 'GRAPHITE' OR APPROVED EQUAL. FINAL APPROVAL PER OWNER.

**FLEETWOOD 6 TOWNHOMES
 SINGLE FAMILY/ ATTACHED DEVELOPMENT**

6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251



REVISIONS	
1	12/06/19 1st City Comments
2	12/06/19 Owner Revisions

Phase: CD
 Drawn By: RFD
 Reviewed By: LDB
 SDI Project No: 3876
 Date: 12/06/2019

ROOF DRAINAGE

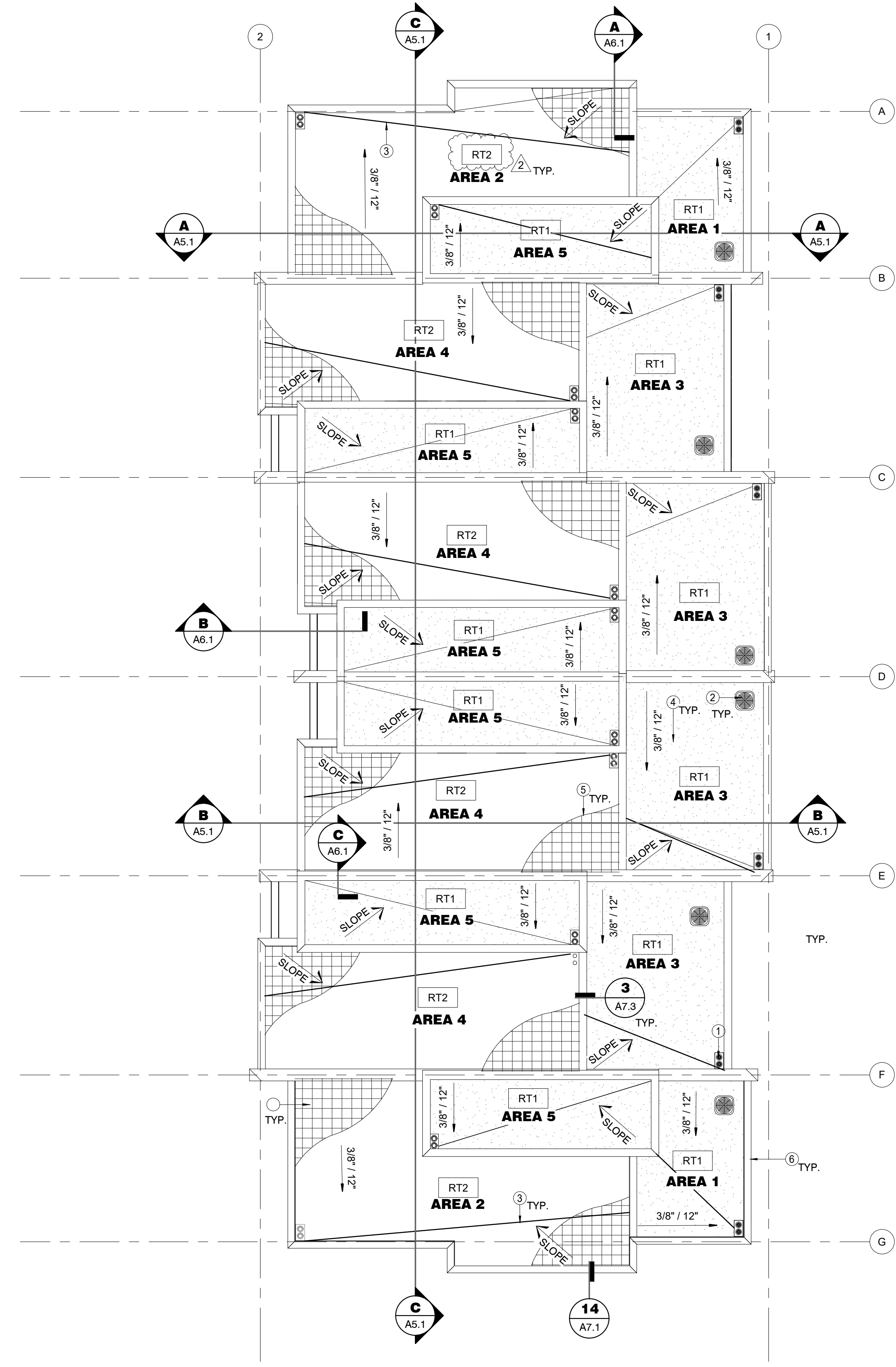
AREA 1:	HORIZONTALLY PROJECTED ROOF AREA:	156 SF
	3"/HR RAINFALL CAPACITY:	156 X .0312=4.86
	ROOF DRAIN DIAMETER:	2"
AREA 2:	HORIZONTALLY PROJECTED ROOF AREA:	438 SF
	3"/HR RAINFALL CAPACITY:	438 X .0312=13.66
	ROOF DRAIN DIAMETER:	2"
AREA 3:	HORIZONTALLY PROJECTED ROOF AREA:	271 SF
	3"/HR RAINFALL CAPACITY:	271 X .0312=8.45
	ROOF DRAIN DIAMETER:	2"
AREA 4:	HORIZONTALLY PROJECTED ROOF AREA:	388 SF
	3"/HR RAINFALL CAPACITY:	388 X .0312=12.10
	ROOF DRAIN DIAMETER:	2"
AREA 5:	HORIZONTALLY PROJECTED ROOF AREA:	186 SF
	3"/HR RAINFALL CAPACITY:	186 X .0312=5.80
	ROOF DRAIN DIAMETER:	2"

KEYNOTES

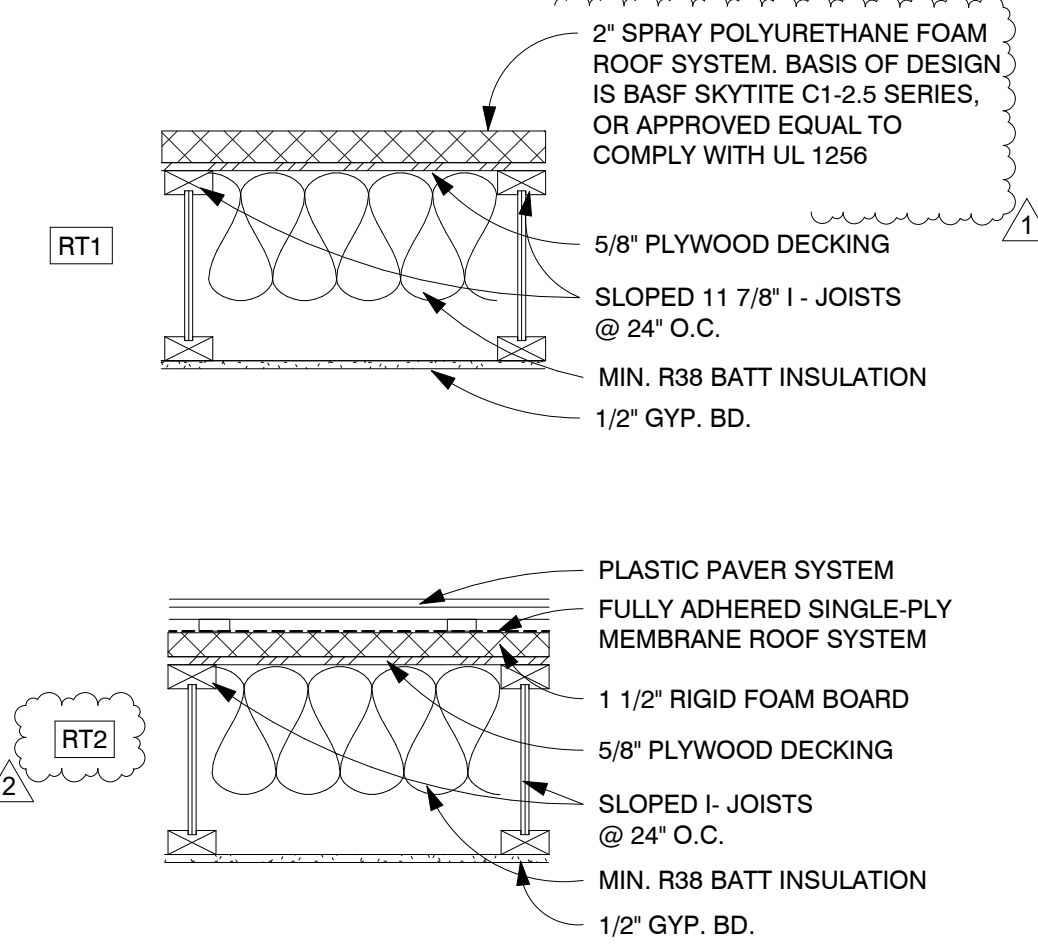
- 1 ROOF DRAIN-OVERFLOW, SEE DETAIL 7/A7.2.
- 2 MECHANICAL UNIT, TYP. TO BE FULLY SCREENED BY PARAPET
- 3 PLYWOOD ROOF CRICKET, SLOPE TO DRAIN AWAY FROM BUILDING, TYP.
- 4 SPRAY FOAM ROOFING
- 5 PLASTIC ROOF DECK TILES
- 6 SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1

ROOF PLAN GENERAL NOTES

- A. MECHANICAL UNITS TO BE ON BUILT UP PODIUM, HIDDEN BEHIND PARAPET WALLS.
- B. ROOF DRAINS SIZED TO HANDLE SPECIFIC SQUARE FOOTAGE OF ROOF.



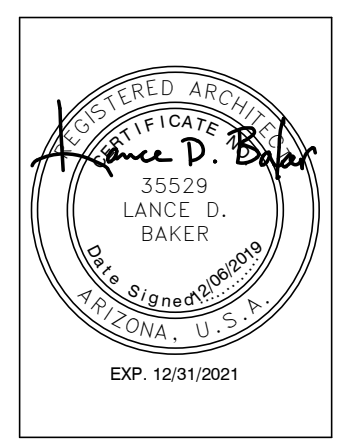
ROOF TYPE LEGEND



- NOTES:**
- 1 REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS
 - 2 REFER TO IECC SECTION R402 COMPLIANCE TABLES, FOR REQUIRED INSULATION VALUES AND ADDITIONAL INFORMATION
 - 3 PROVIDE BATT INSULATION OF CLASS 'A' FIRE RATING WITH FLAME SPREAD INDEX OF 0-25 AND SMOKE DEVELOPED INDEX OF 0-450
 - 4 BASIS OF DESIGN FOR PLASTIC PAVER SYSTEM IS 12"x12" RUGGED GRIP-LOC TILES, COLOR 'GRAPHITE' OR APPROVED EQUAL. FINAL APPROVAL PER OWNER.

**FLEETWOOD 6 TOWNHOMES
 SINGLE FAMILY/ ATTACHED DEVELOPMENT**

6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

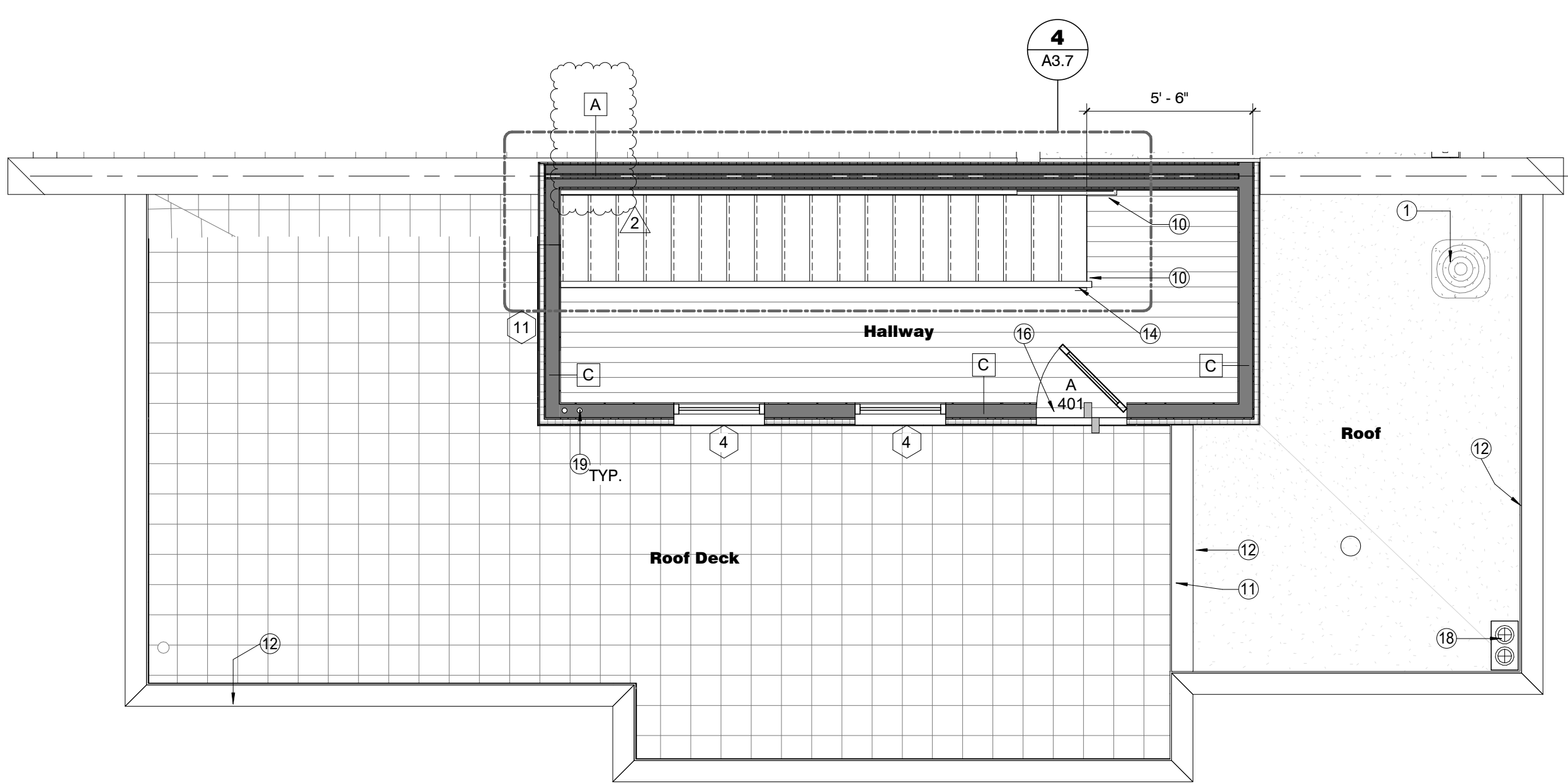


REVISIONS	
2	12/06/19 Owner Revisions

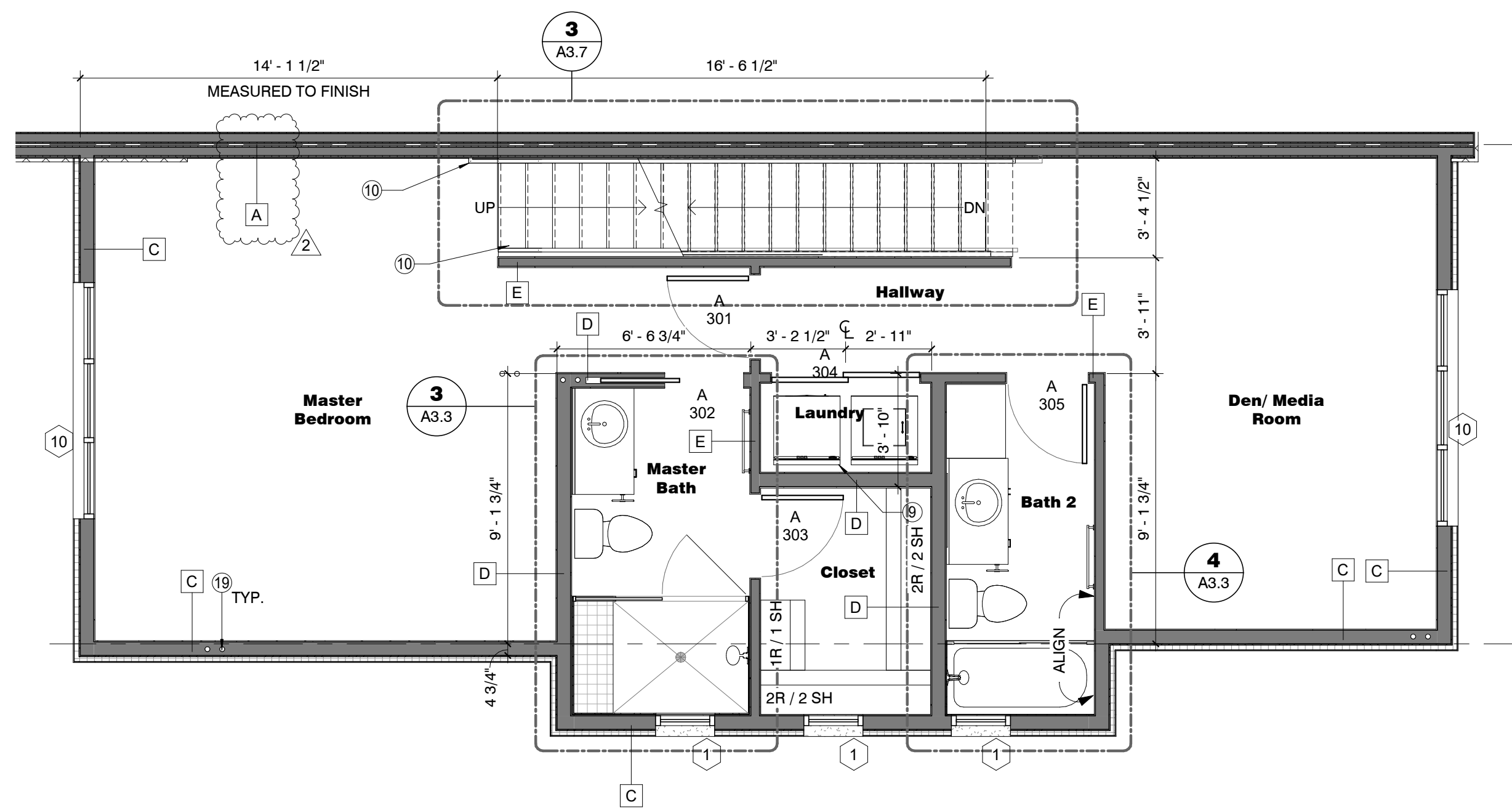
Phase: CD
 Drawn By: Author
 Reviewed By: Checker
 SDI Project No: 3876
 Date: 12/06/2019

1 ROOF PLAN
 1/8" = 1'-0"

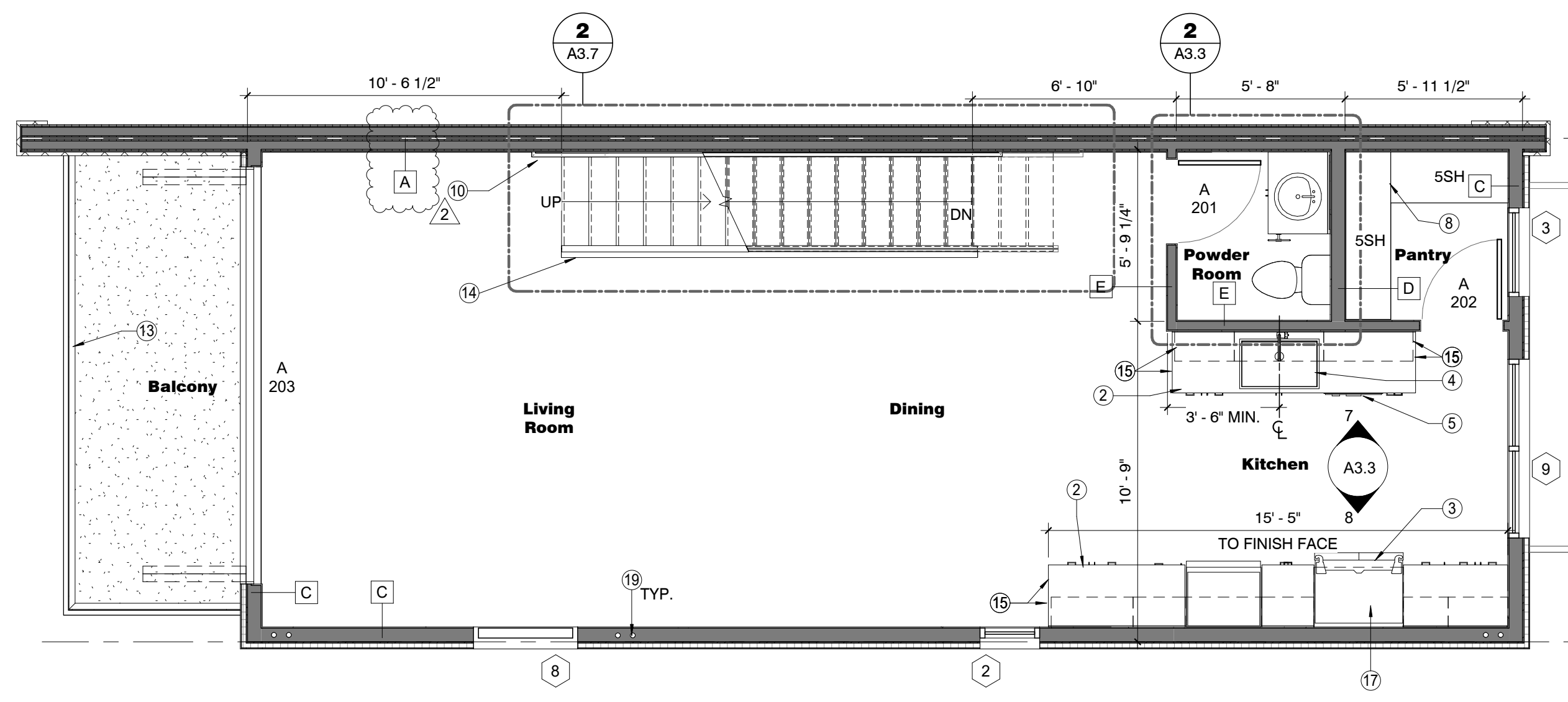
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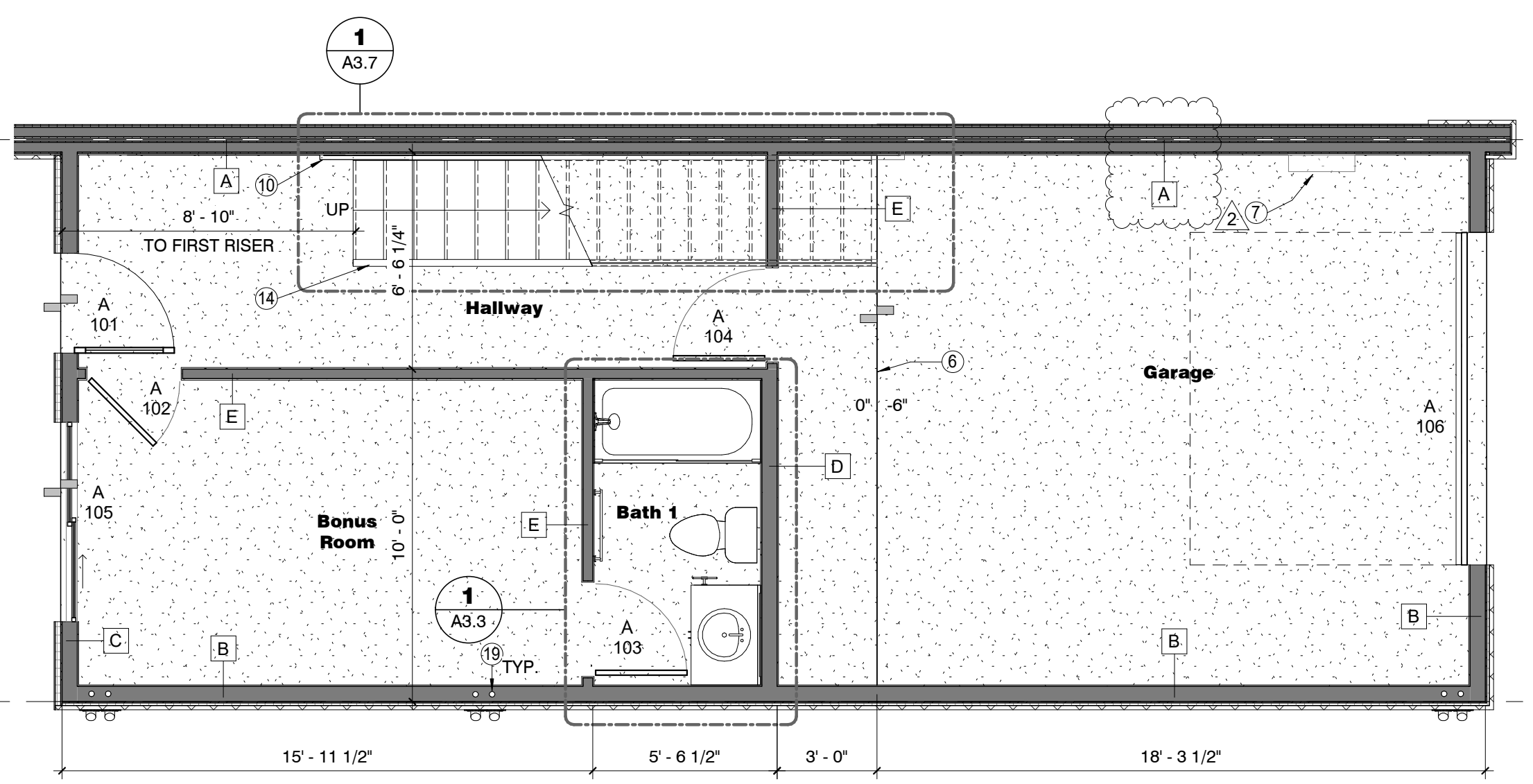
4 UNITS 1 & 6 - UNIT PLAN - ROOF DECK
1/4" = 1'-0"



3 UNITS 1 & 6 - UNIT PLAN - 3rd FLOOR
1/4" = 1'-0"



2 UNITS 1 & 6 - UNIT PLAN - 2nd FLOOR
1/4" = 1'-0"



1 UNITS 1 & 6 - UNIT PLAN - 1st FLOOR
1/4" = 1'-0"

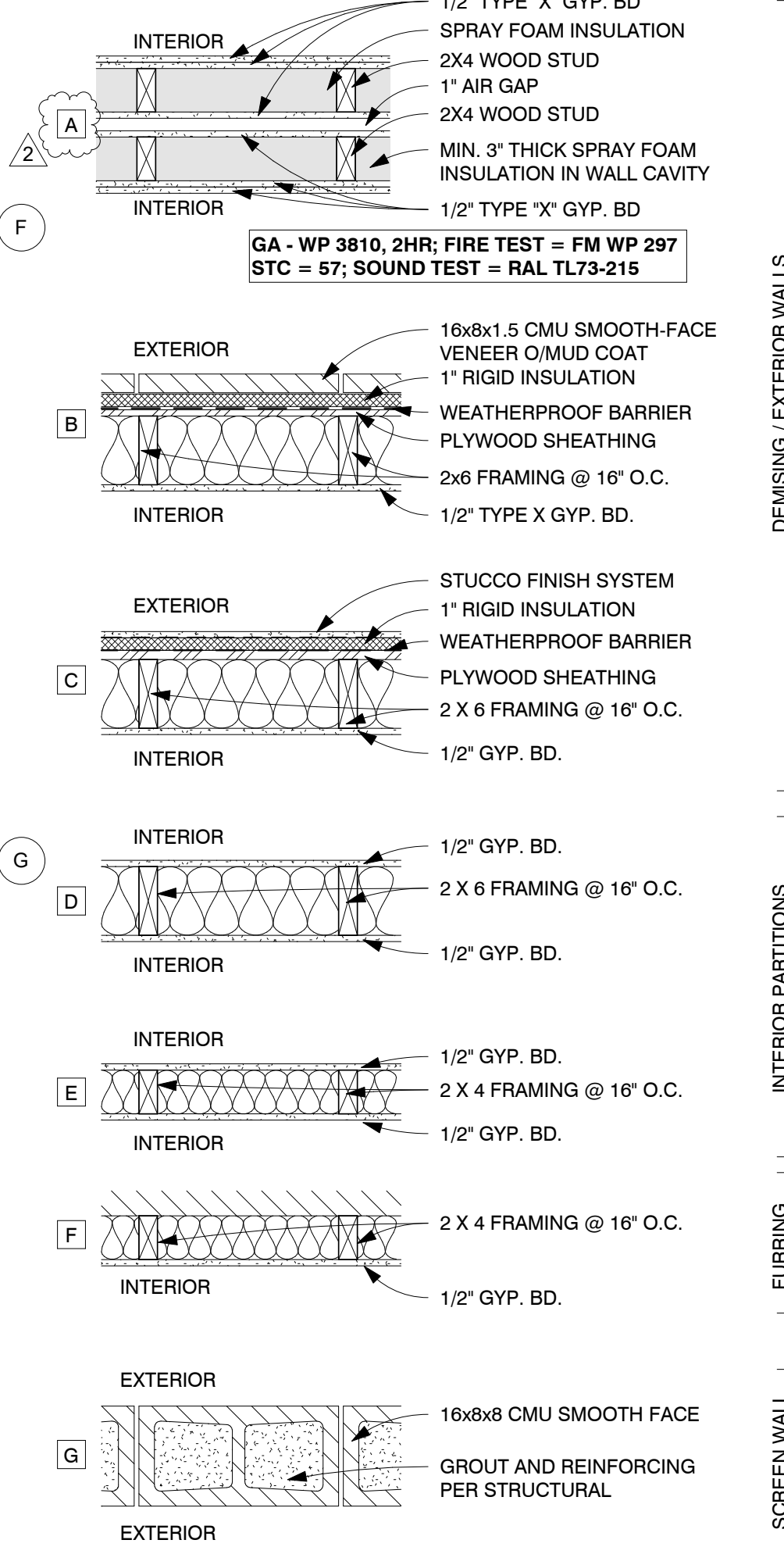
KEYNOTES

- 1 MECHANICAL UNIT, TYP. TO BE FULLY SCREENED BY PARAPET
- 2 COUNTER TOP, BASE & UPPER CABINET
- 3 REFRIGERATOR
- 4 KITCHEN SINK
- 5 DISHWASHER
- 6 6" TALL CURB STOP
- 7 ELECTRIC PANEL
- 8 PANTRY SHELVLING
- 9 WASHER AND DRYER BY OTHERS
- 10 HAND RAIL AT 36" MIN. A.F.F. REFER TO 3/A3.10 FOR REQUIREMENTS
- 11 LOW WALL 42" A.F.F.
- 12 SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1
- 13 BALCONY STAIR GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
- 14 INTERIOR STAIR GUARDRAIL 42" A.F.F. MIN REFER TO 2/A3.10 FOR REQUIREMENTS
- 15 PROVIDE FINISH FACE FOR UPPER AND LOWER END CABINETS
- 16 4" HIGH THRESHOLD BETWEEN ROOF DECK AND PENTHOUSE
- 17 PROVIDE MIN. 36" CLEAR FOR REFRIGERATOR
- 18 ROOF DRAIN-OVERFLOW. SEE DETAIL 7/A7.2
- 19 VERTICAL ROOF DRAIN LEADER LOCATION. VERIFY MIN. SLOPE REQUIREMENTS FOR HORIZONTAL TRANSITIONS

FLOOR PLAN GENERAL NOTES

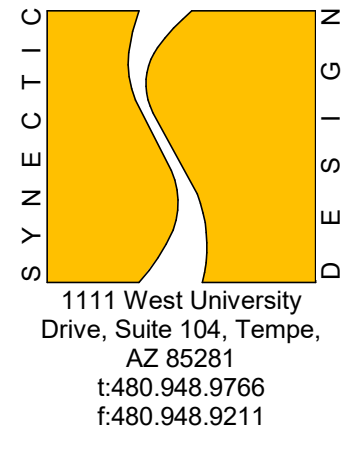
- A. ALL APPLIANCES TO BE PER OWNER SPEC
- B. ALL PLUMBING FIXTURES TO BE PER OWNER SPEC
- C. ALL FINISHES TO BE PER OWNER SPEC
- D. CABINETRY TO BE SPECIFIED BY OWNER
- E. EXTERIOR DIMENSIONS FOUND ON OVERALL BUILDING PLANS

WALL TYPE LEGEND

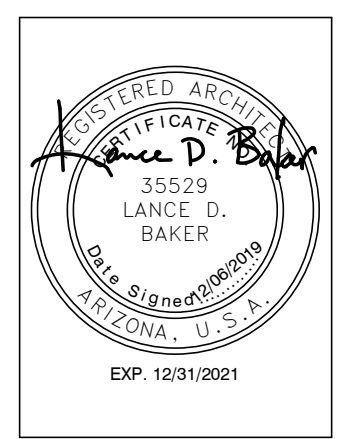


NOTES

1. USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS
2. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS
3. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS
4. PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
5. PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS. USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP SEPARATED BY MIN. 1/2" GYPSUM BOARD OR OTHER APPROVED THERMAL BARRIER PER IRC SECTION 316.4
6. PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS
7. ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE



FLEETWOOD 6 TOWNHOMES
SINGLE FAMILY/ ATTACHED DEVELOPMENT
 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

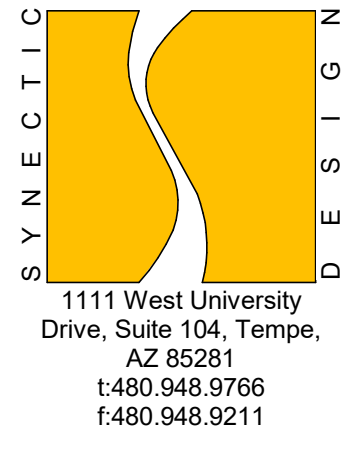


REVISIONS	
2	12/06/19 Owner Revisions

Phase: CD
 Drawn By: RFD
 Reviewed By: LDB
 SDI Project No: 3876
 Date: 12/06/2019

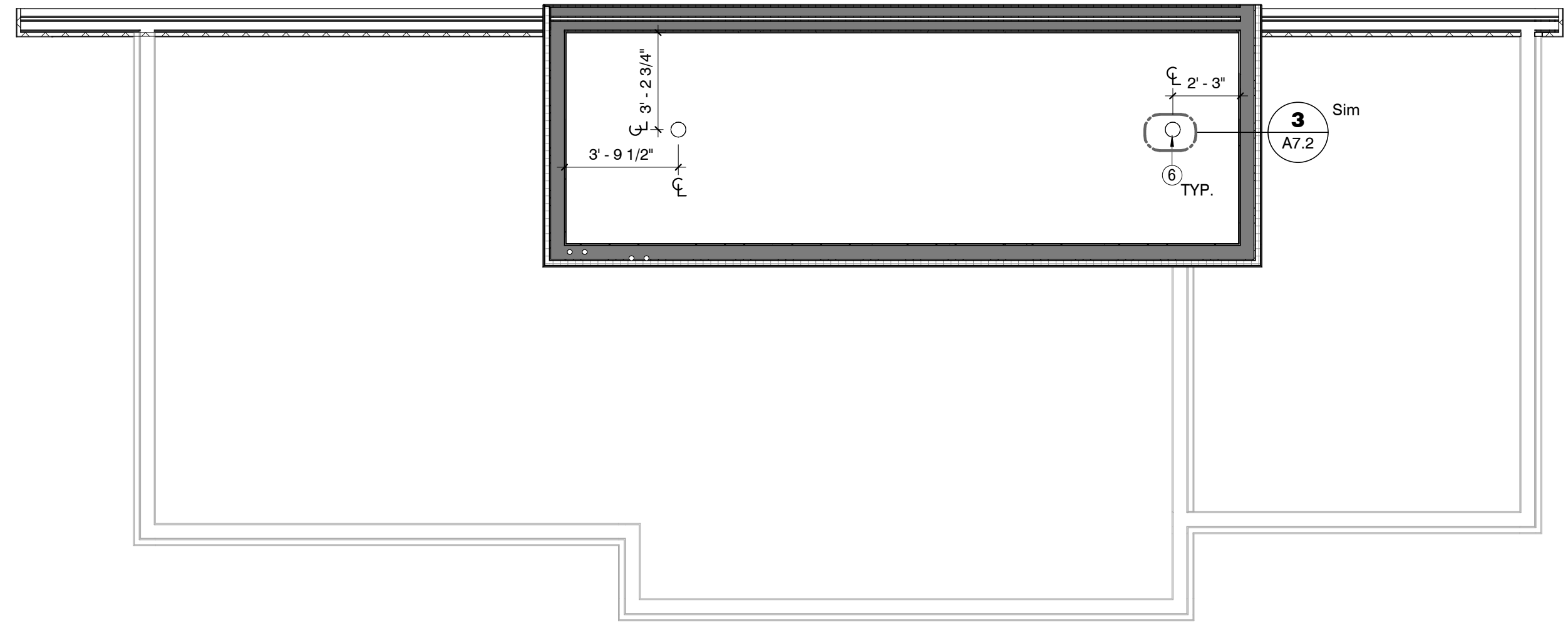
Sheet:
A3.1
 UNITS 1 & 6 UNIT FLOORPLANS

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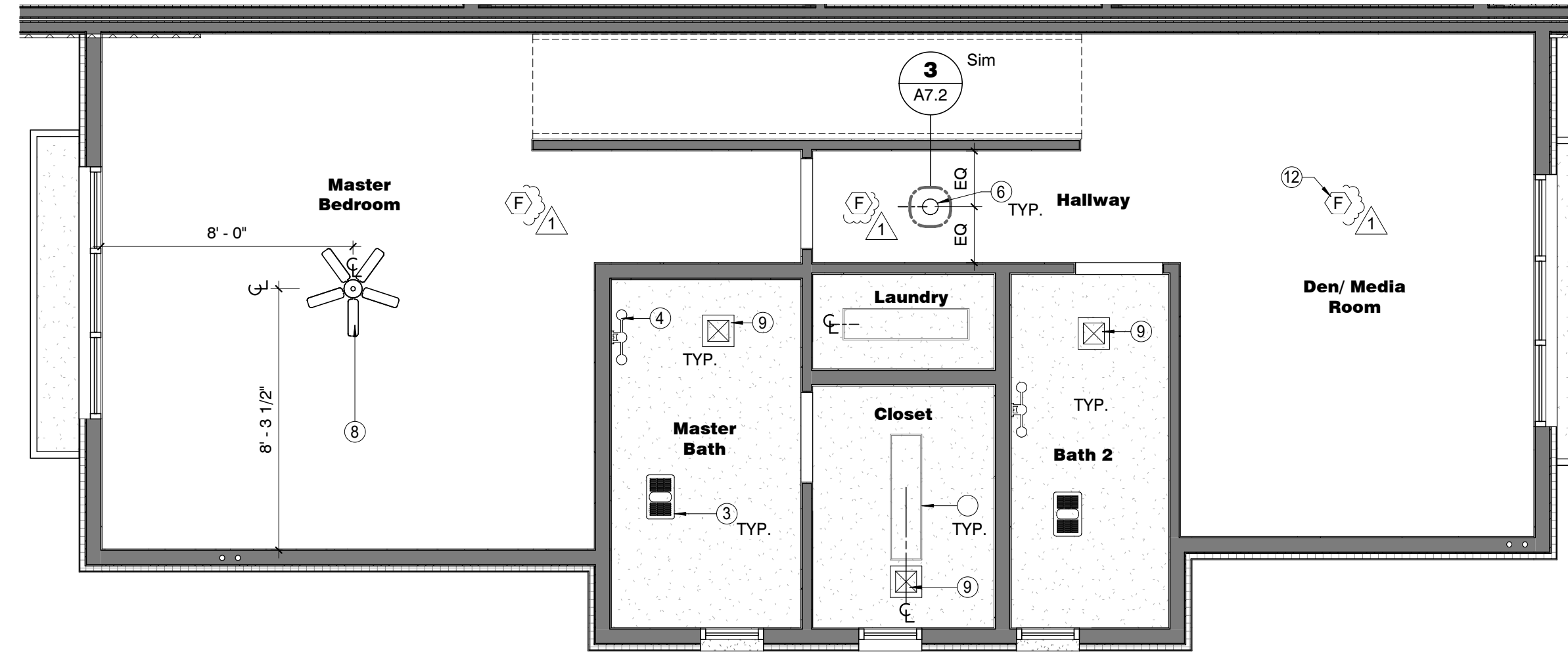


- KEYNOTES**
- JUNCTION BOX - TO BE CAPPED UNLESS OTHERWISE NOTED BY OWNER
 - 5/8" TYPE 'X' GYP BOARD TO BE AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE
 - EXHAUST FAN
 - VANITY LIGHT FIXTURE
 - DECORATIVE LIGHT FIXTURE
 - RECESSED CAN LIGHT
 - FLUORESCENT LIGHT
 - CEILING FAN
 - MECHANICAL SUPPLY GRILL, REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION
 - MECHANICAL RETURN GRILL, REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION
 - COUNTER TOP, BASE & UPPER CABINET
 - COMBINATION SMOKE/CO DETECTOR, TYP. SEE ELECTRICAL PLANS FOR MORE INFORMATION.

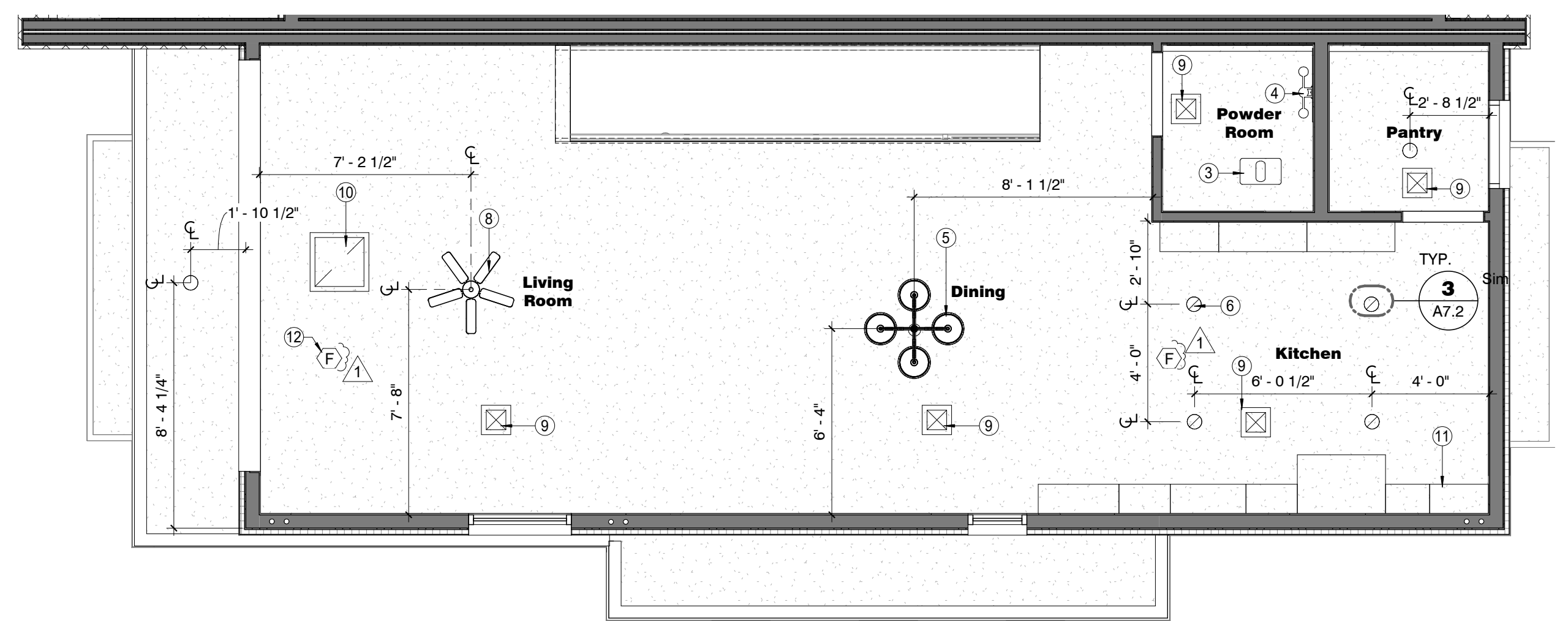
- REFLECTED CEILING PLAN GENERAL NOTES**
- MINIMUM 5/8" TYPE X GYP BOARD AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE.
 - PLUMBING FIXTURES TO BE PER OWNERS SPEC
 - LIGHTING FIXTURES TO BE PER OWNERS SPEC
 - ALL LIGHTING DIMENSIONED TO CENTER OF FIXTURE UNLESS NOTED OTHERWISE
 - CENTER BATHROOM LIGHT FIXTURES ABOVE VANITY MIRRORS UNLESS NOTED OTHERWISE.



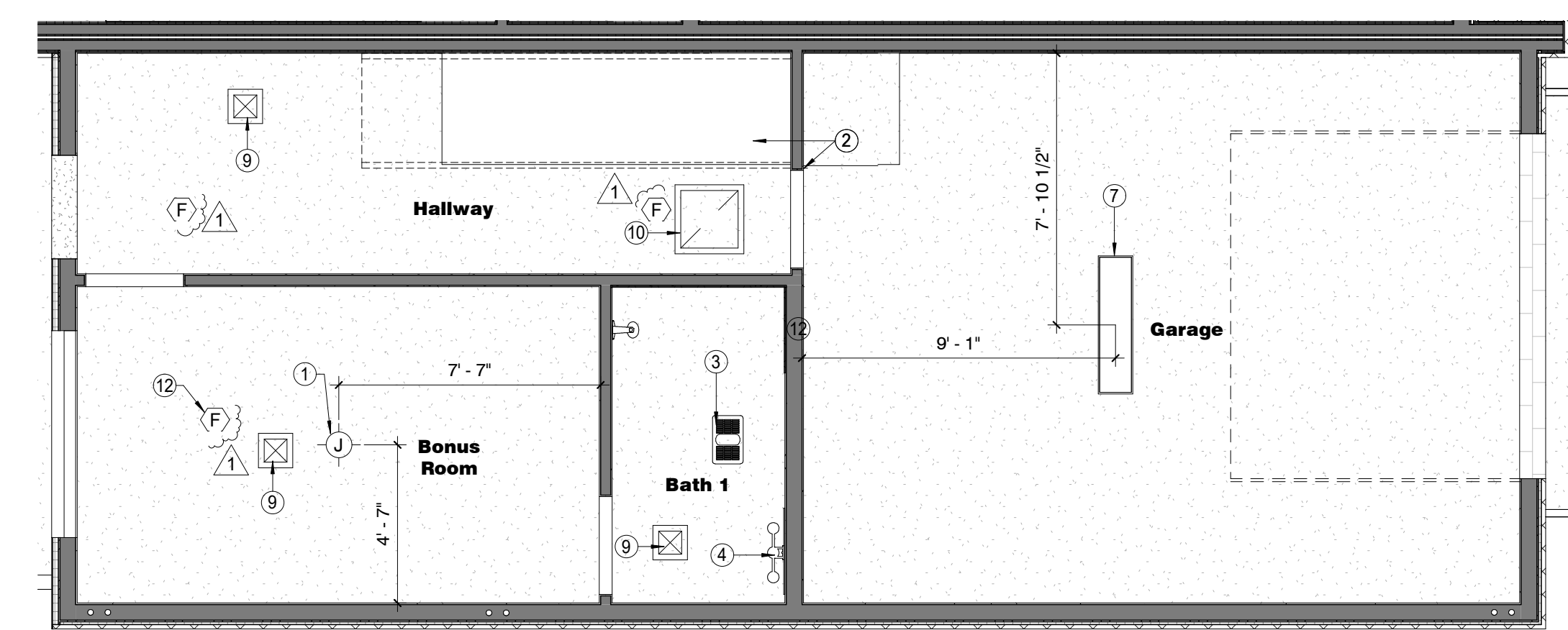
4 Roof Deck Unit 1 RCP
1/4" = 1'-0"



3 3RD FLOOR UNIT 1 & 6 RCP
1/4" = 1'-0"



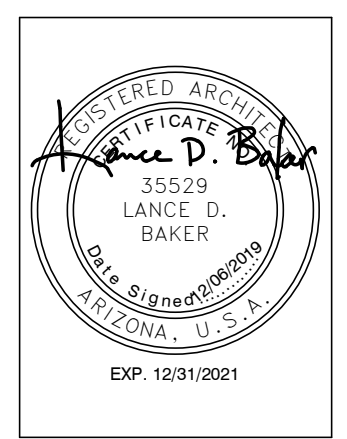
2 2ND FLOOR UNIT 1 & 6 RCP
1/4" = 1'-0"



1 1ST FLOOR UNIT 1 & 6 RCP
1/4" = 1'-0"

**FLEETWOOD 6 TOWNHOMES
SINGLE FAMILY/ ATTACHED DEVELOPMENT**

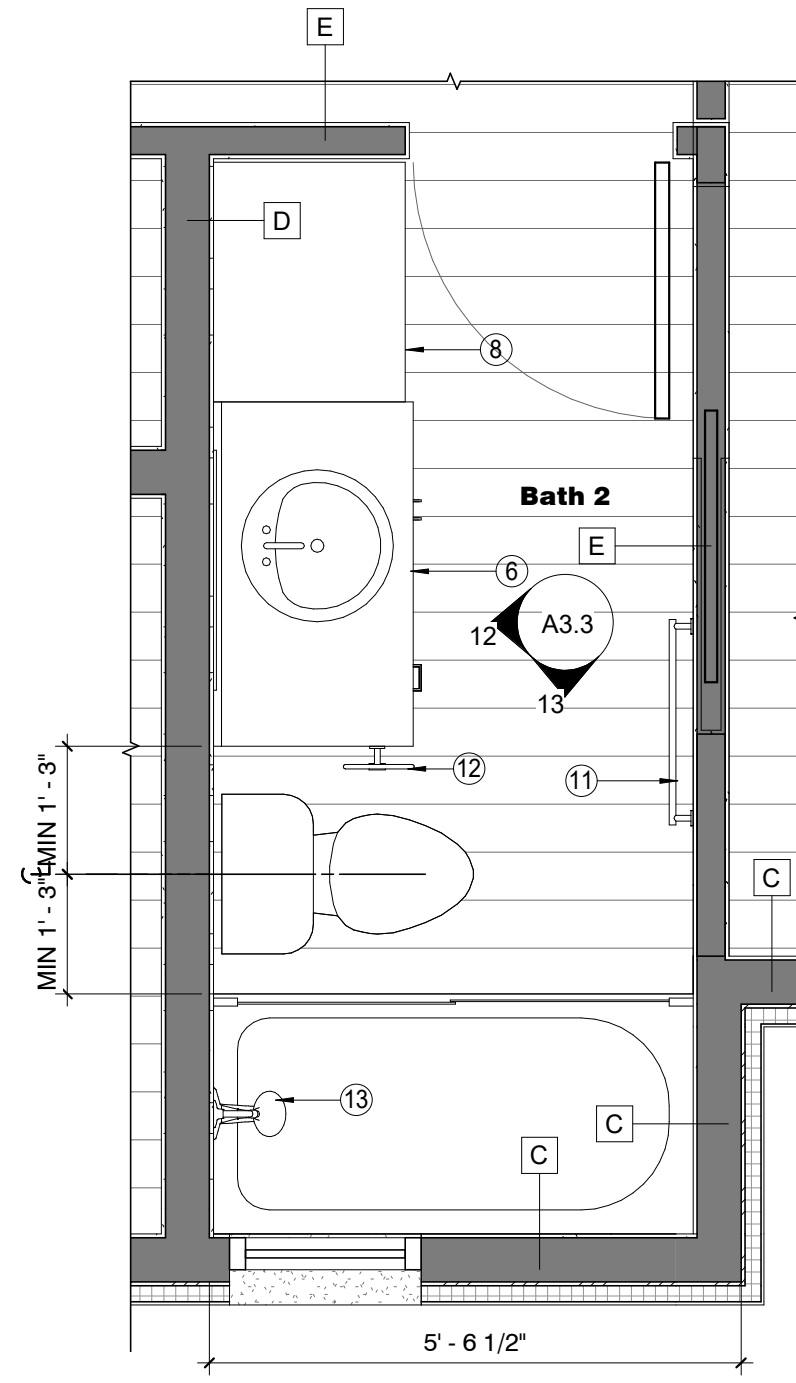
6902-6908 EAST 1ST AVE
SCOTTSDALE, ARIZONA 85251



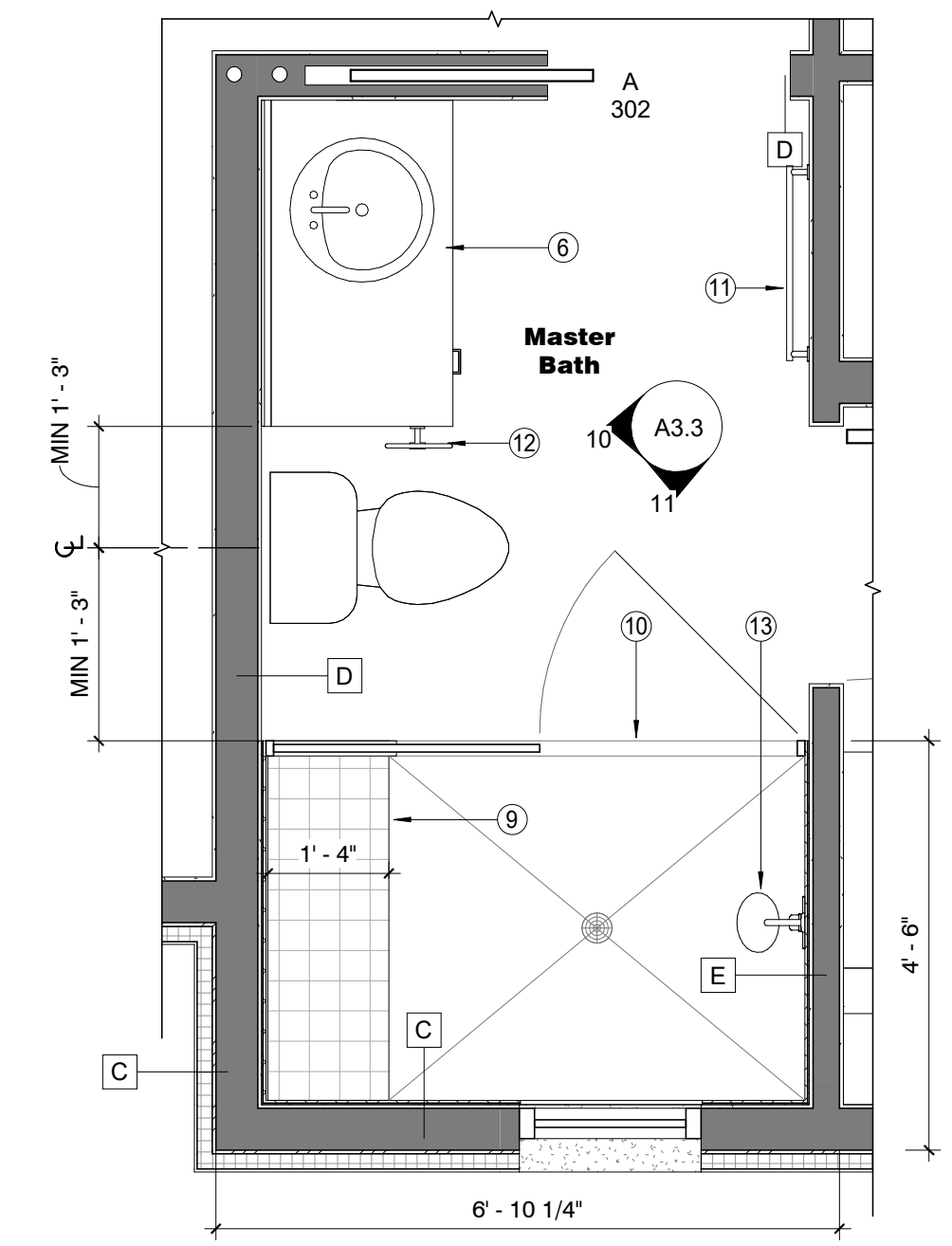
REVISIONS	
1	12/06/19 [1st City Comments]

Phase: CD
Drawn By: NYK
Reviewed By: LDB
SDI Project No: 3876
Date: 12/06/2019

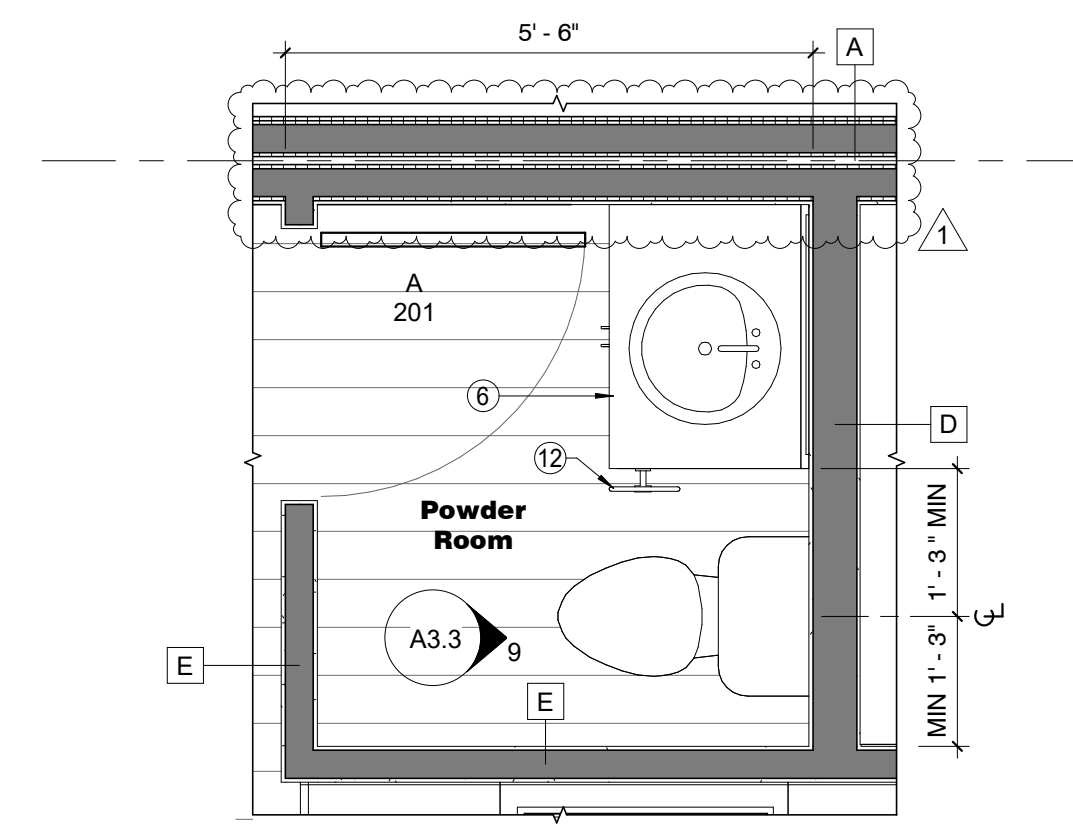
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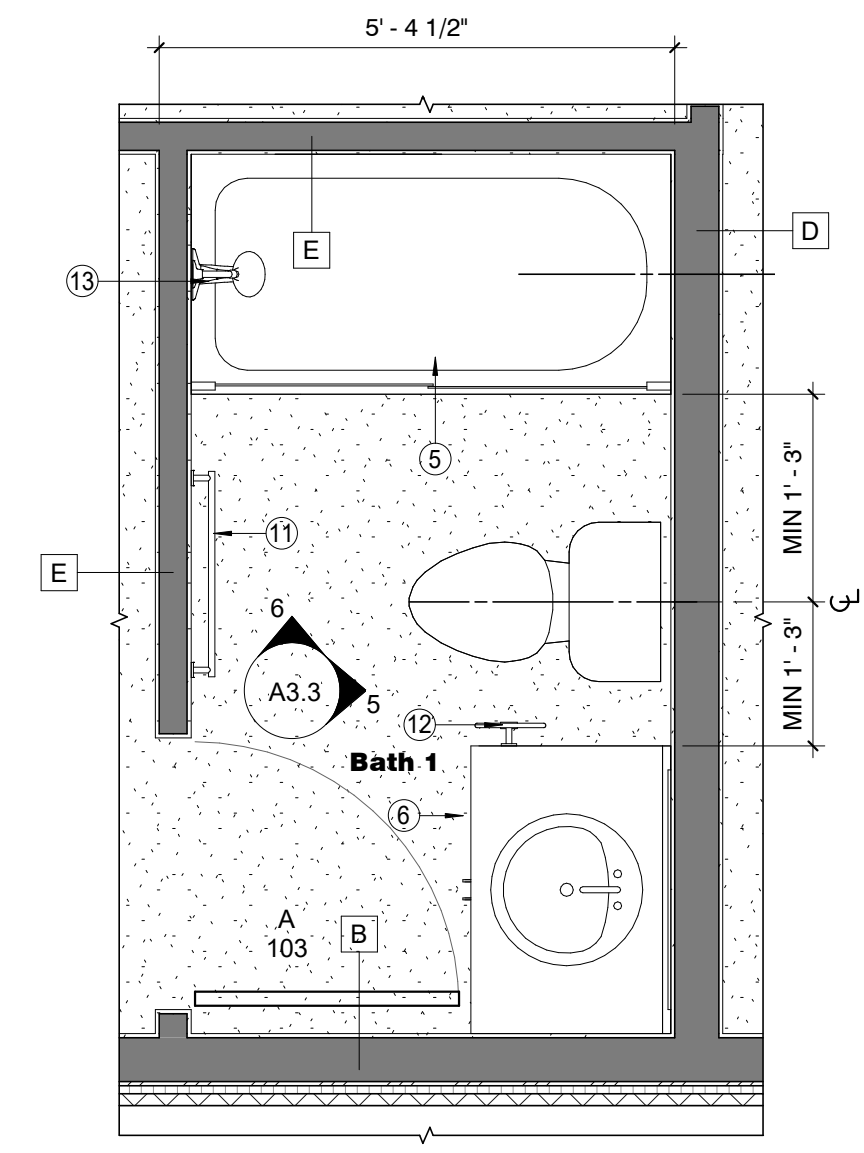
4 ENLARGED PLAN - UNIT 1 & 6 - BATH 2
1/2" = 1'-0"



3 ENLARGED PLAN - UNIT 1 & 6 - MASTER BATH
1/2" = 1'-0"



2 ENLARGED PLAN - UNIT 1 & 6 - POWDER ROOM
1/2" = 1'-0"

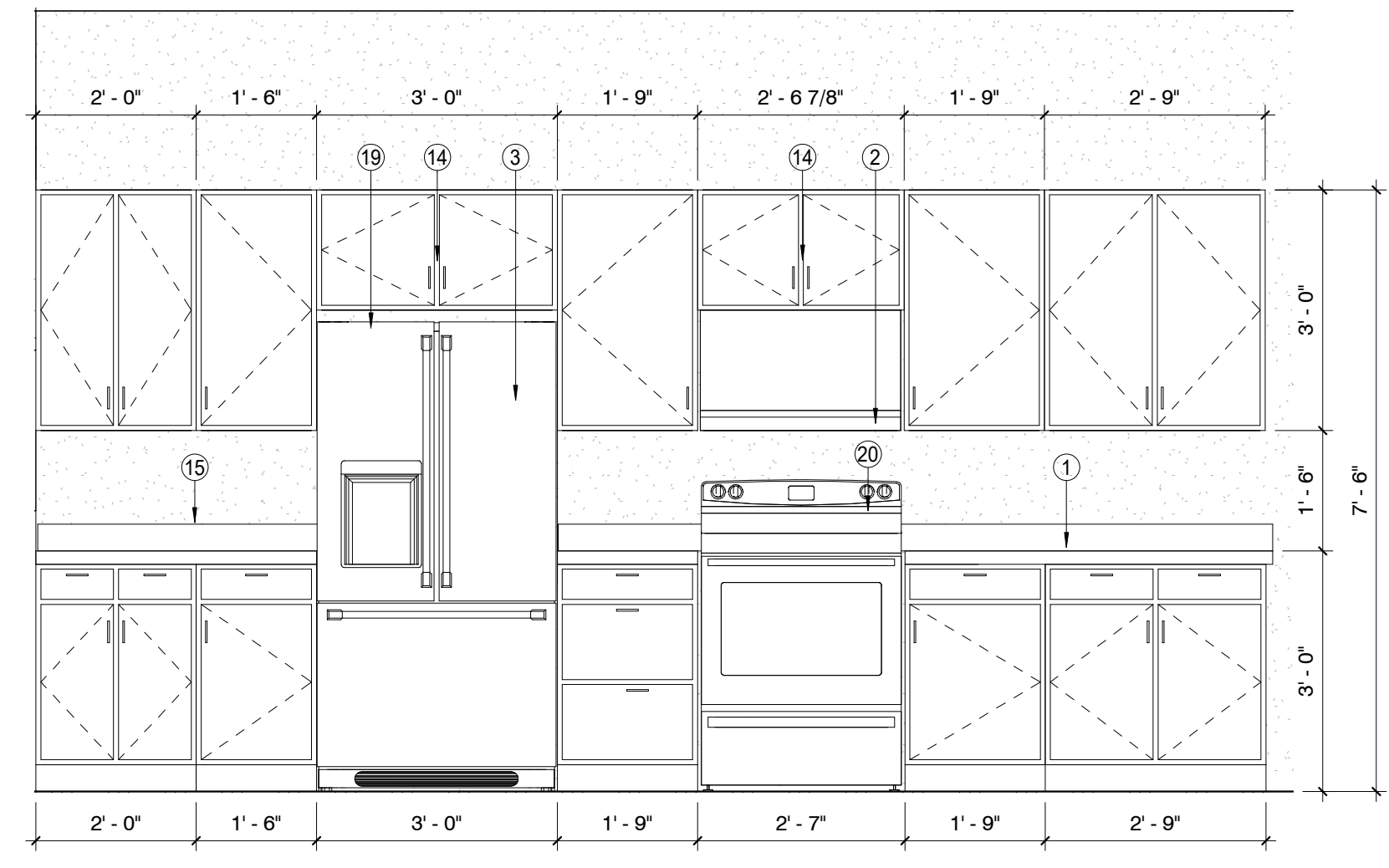


1 ENLARGED PLAN - UNIT 1 & 6 - BATHROOM 1
1/2" = 1'-0"

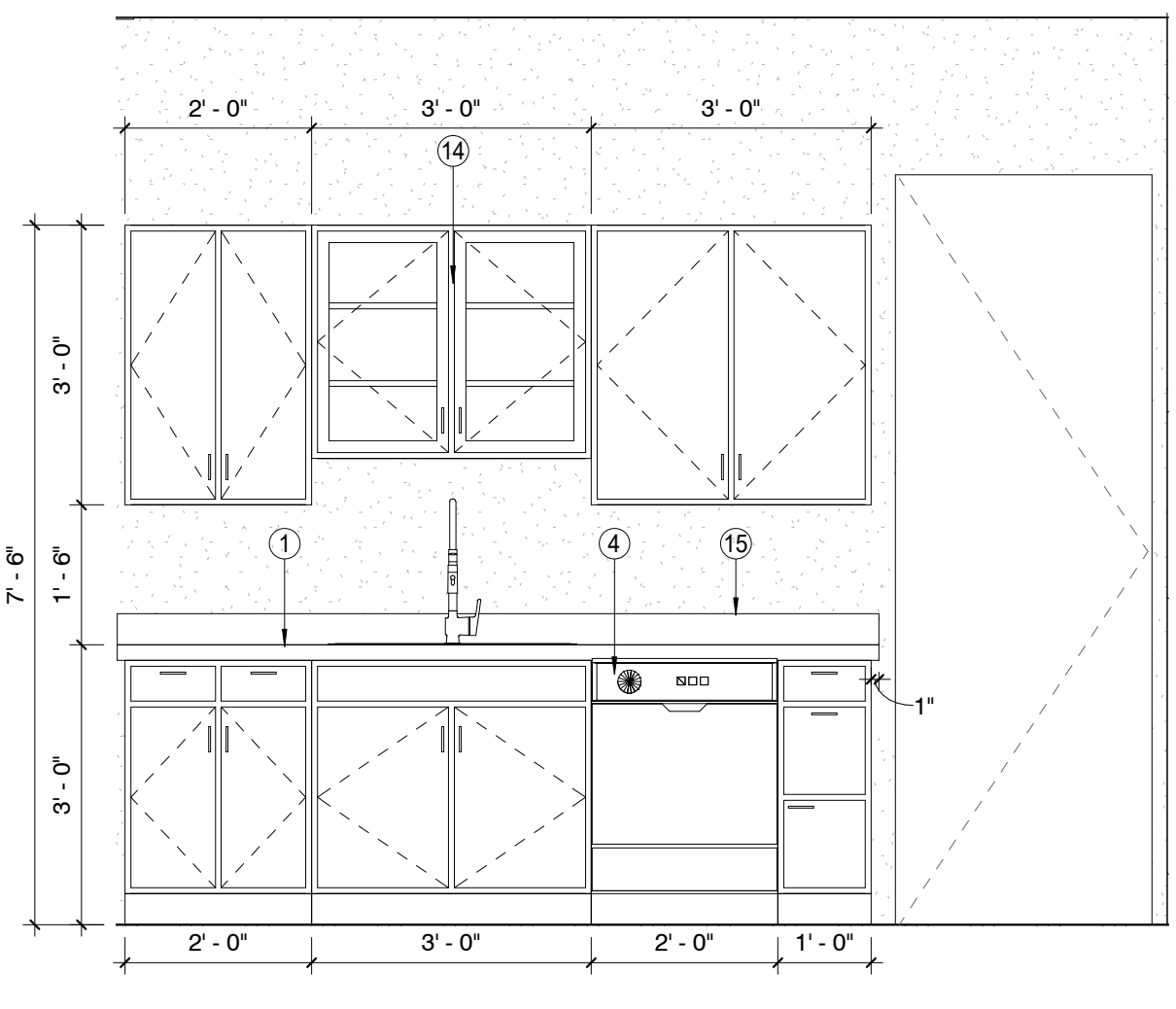
- KEYNOTES**
- 1 COUNTER TOP, BASE & UPPER CABINET
 - 2 RANGE HOOD
 - 3 REFRIGERATOR
 - 4 DISHWASHER
 - 5 BATHTUB / SHOWER COMBO
 - 6 VANITY SINK, COUNTER AND BASE CABINET
 - 7 VANITY MIRROR
 - 8 BUILT-IN LINEN
 - 9 BUILT-IN BENCH SEATING- 18" A.F.F.
 - 10 SHOWER ENCLOSURE WITH TEMPERED GLASS AND MINIMUM 22" OPENING
 - 11 TOWEL BAR
 - 12 TOILET PAPER RING
 - 13 SHOWER AND BATHTUB FIXTURES
 - 14 SPECIALTY CABINETS
 - 15 4" BACKSPLASH TO MATCH COUNTER TOP
 - 16 VANITY LIGHT FIXTURE
 - 17 4" BACKSPLASH TO MATCH VANITY COUNTER TOP
 - 18 TILE SURROUND AT SHOWER AND BATHTUBS
 - 19 PROVIDE MIN. 36" CLEAR FOR REFRIGERATOR
 - 20 OVEN

ENLARGED PLAN/INTERIOR ELEV. GENERAL NOTES

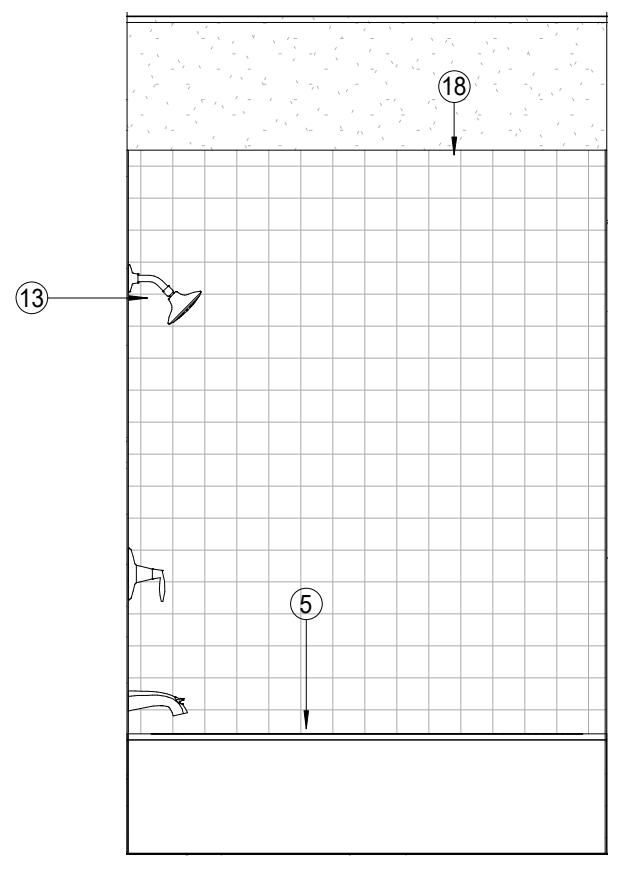
- A. ALL PLUMBING FIXTURES TO BE PER OWNER SPEC
- B. ALL BATH ACCESSORIES TO BE PER OWNER SPEC
- C. ALL APPLIANCES TO BE PER OWNER SPEC
- D. ALL MILLWORK / CABINERY TO BE PER OWNER SPEC
- E. ALL LIGHTING FIXTURES TO BE PER OWNER SPEC
- F. ALL FINISHES PER OWNERS SPEC
- G. NON-ABSORBENT MATERIAL TO ME A MINIMUM OF 6" A.F.F. ABOVE SHOWER BASE OR BATHTUB
- H. LOWER CABINETS TO HAVE 36" MINIMUM CLEAR SPACE FOR REFRIGERATOR.
- I. CENTER BATHROOM LIGHT FIXTURES OVER VANITIES UNLESS OTHERWISE NOTED



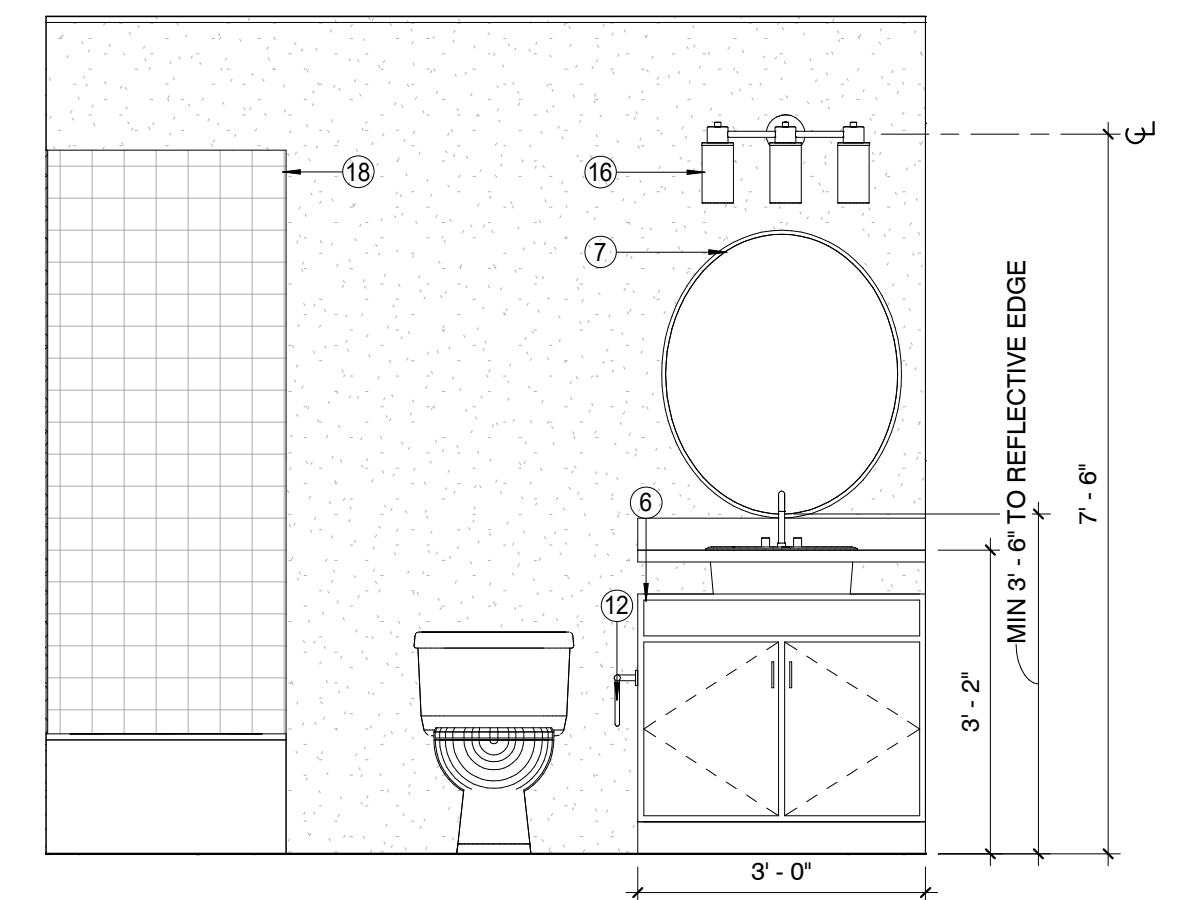
8 INT. ELEV. - UNIT 1 & 6 - KITCHEN
1/2" = 1'-0"



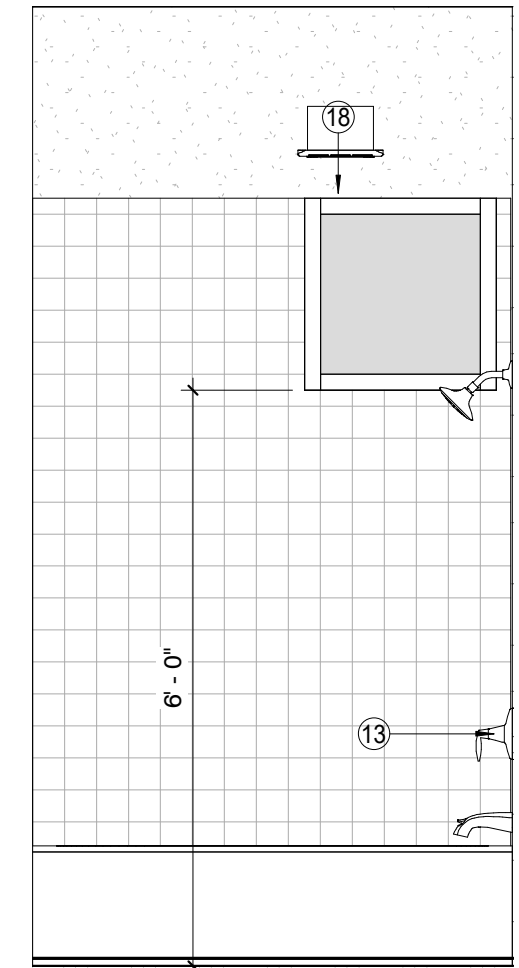
7 INT. ELEV. - UNIT 1 & 6 - KITCHEN
1/2" = 1'-0"



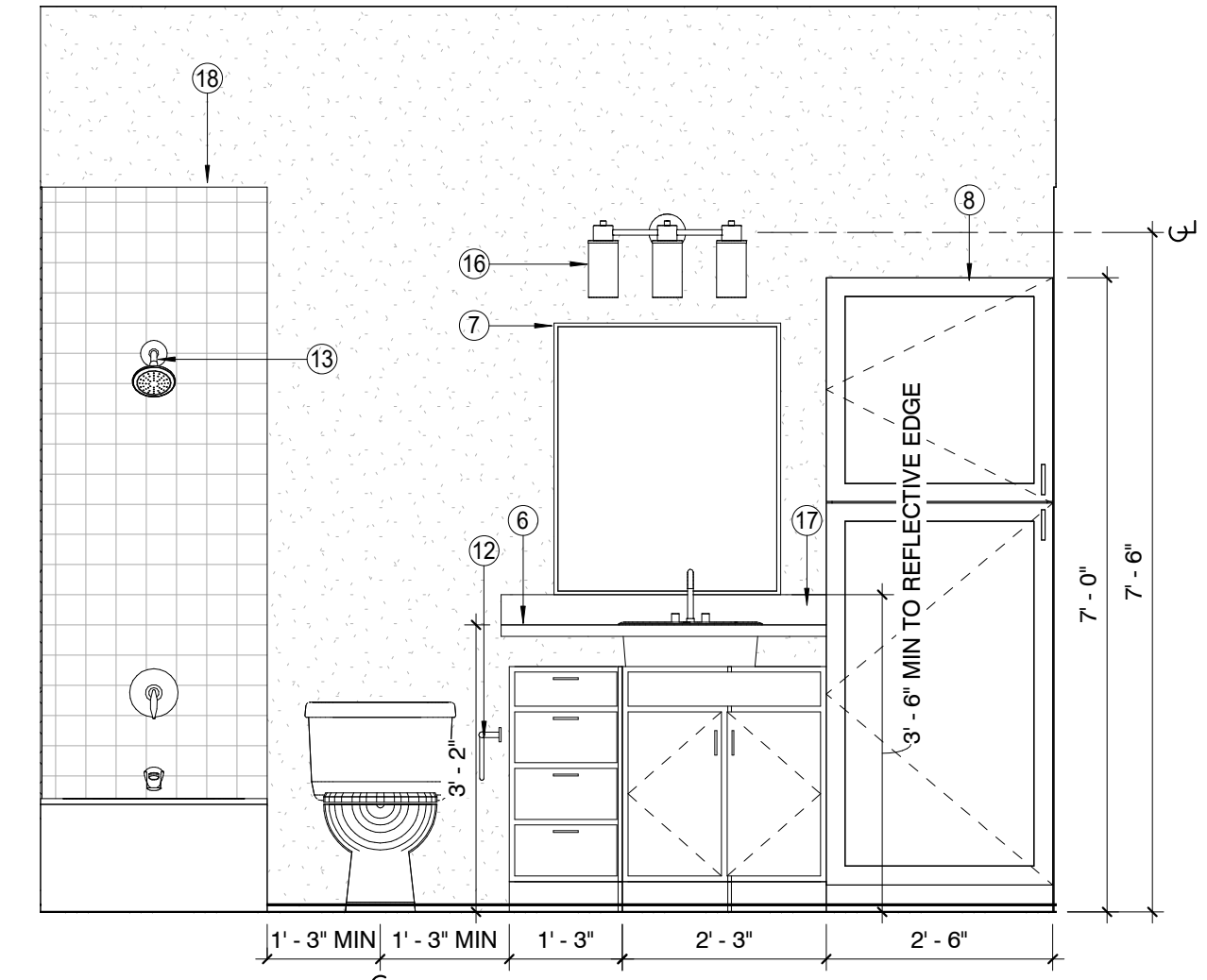
6 INT. ELEV. - UNIT 1 & 6 - BATH
1/2" = 1'-0"



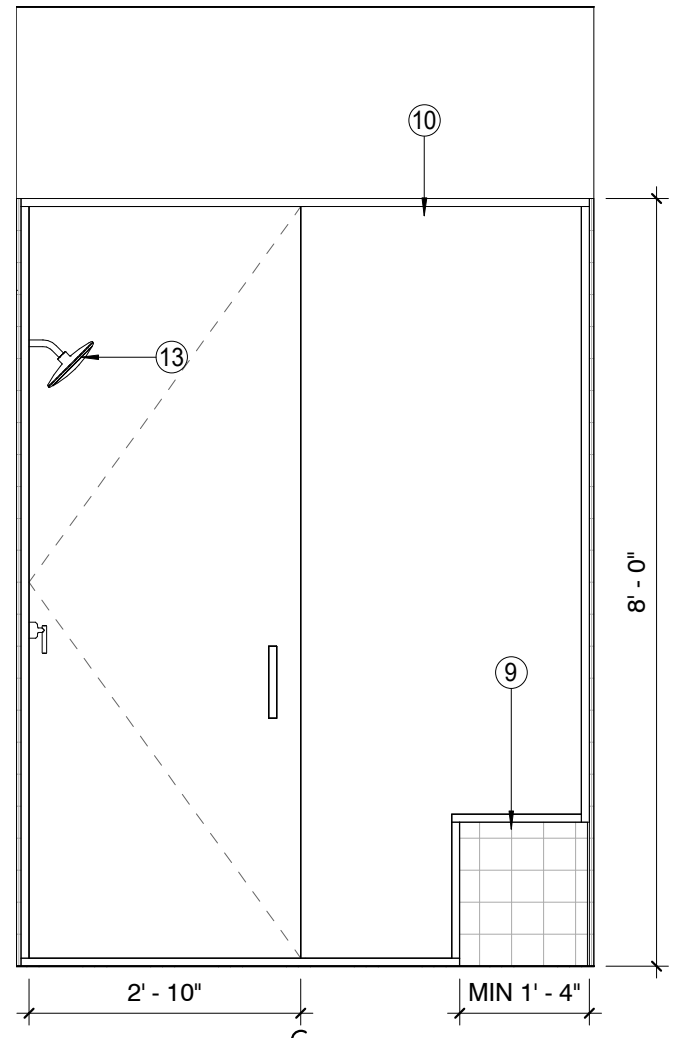
5 INT. ELEV. - UNIT 1 & 6 - BATH 1
1/2" = 1'-0"



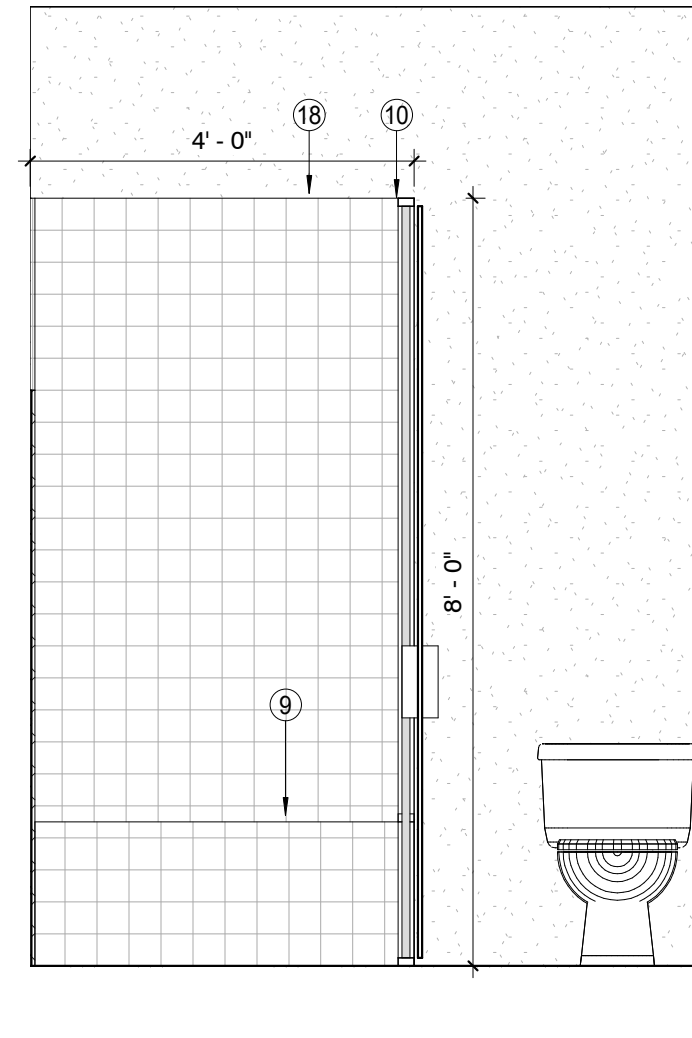
13 INT. ELEV. - UNIT 1 & 6 - BATH
1/2" = 1'-0"



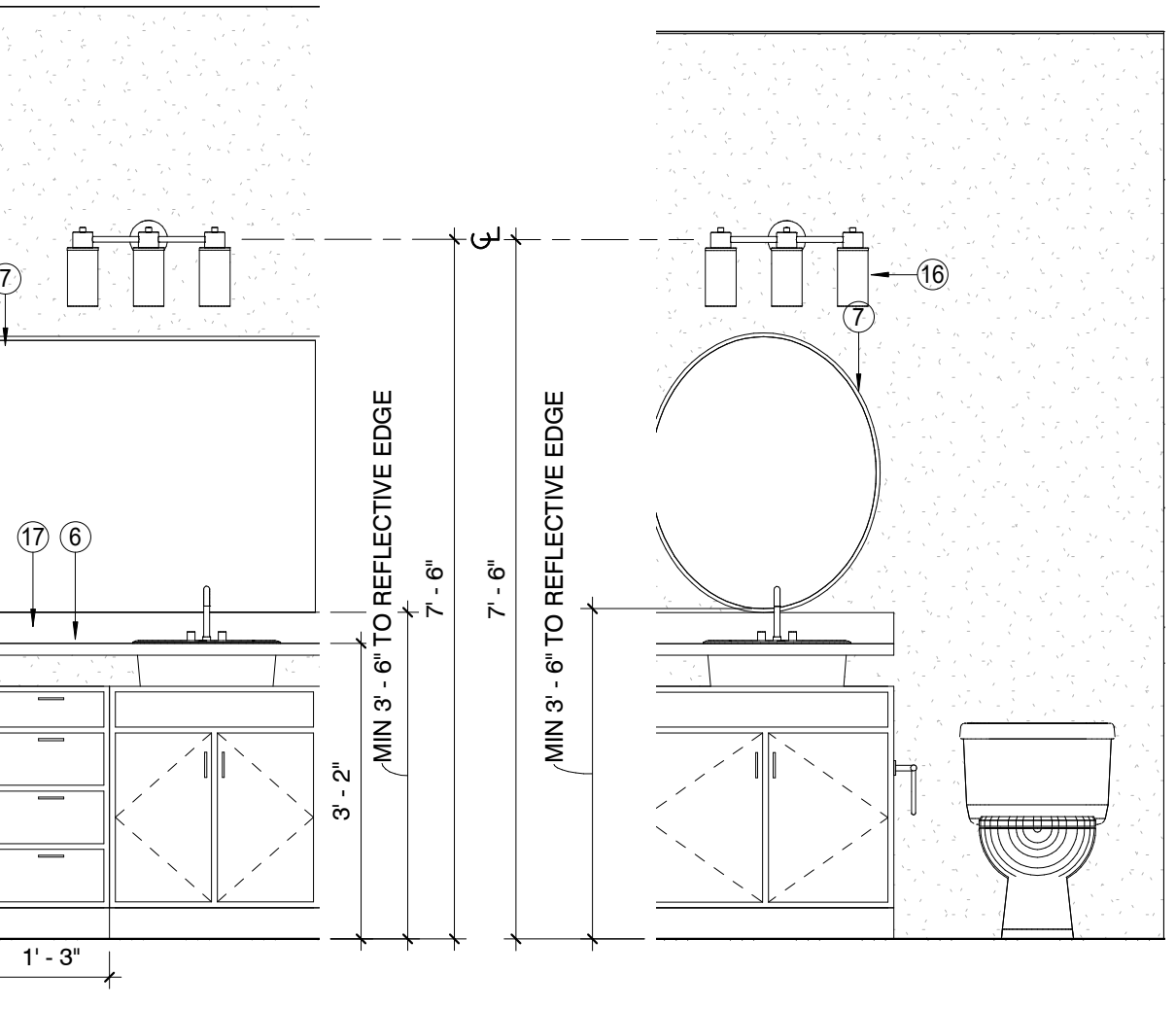
12 INT. ELEV. - UNIT 1 & 6 - BATH 2
1/2" = 1'-0"



11 INT. ELEV. - UNIT 1 & 6 - MASTER BATH
1/2" = 1'-0"



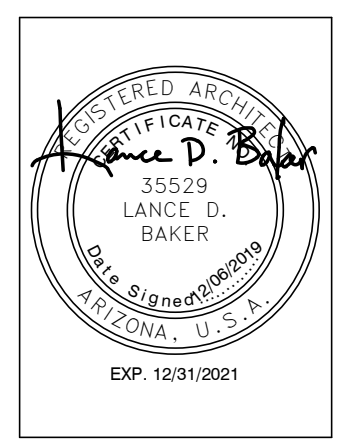
10 INT. ELEV. - UNIT 1 & 6 - MASTER BATH
1/2" = 1'-0"



9 INT. ELEV. - UNIT 1 & 6 - POWDER RM
1/2" = 1'-0"

FLEETWOOD 6 TOWNHOMES
SINGLE FAMILY/ ATTACHED DEVELOPMENT

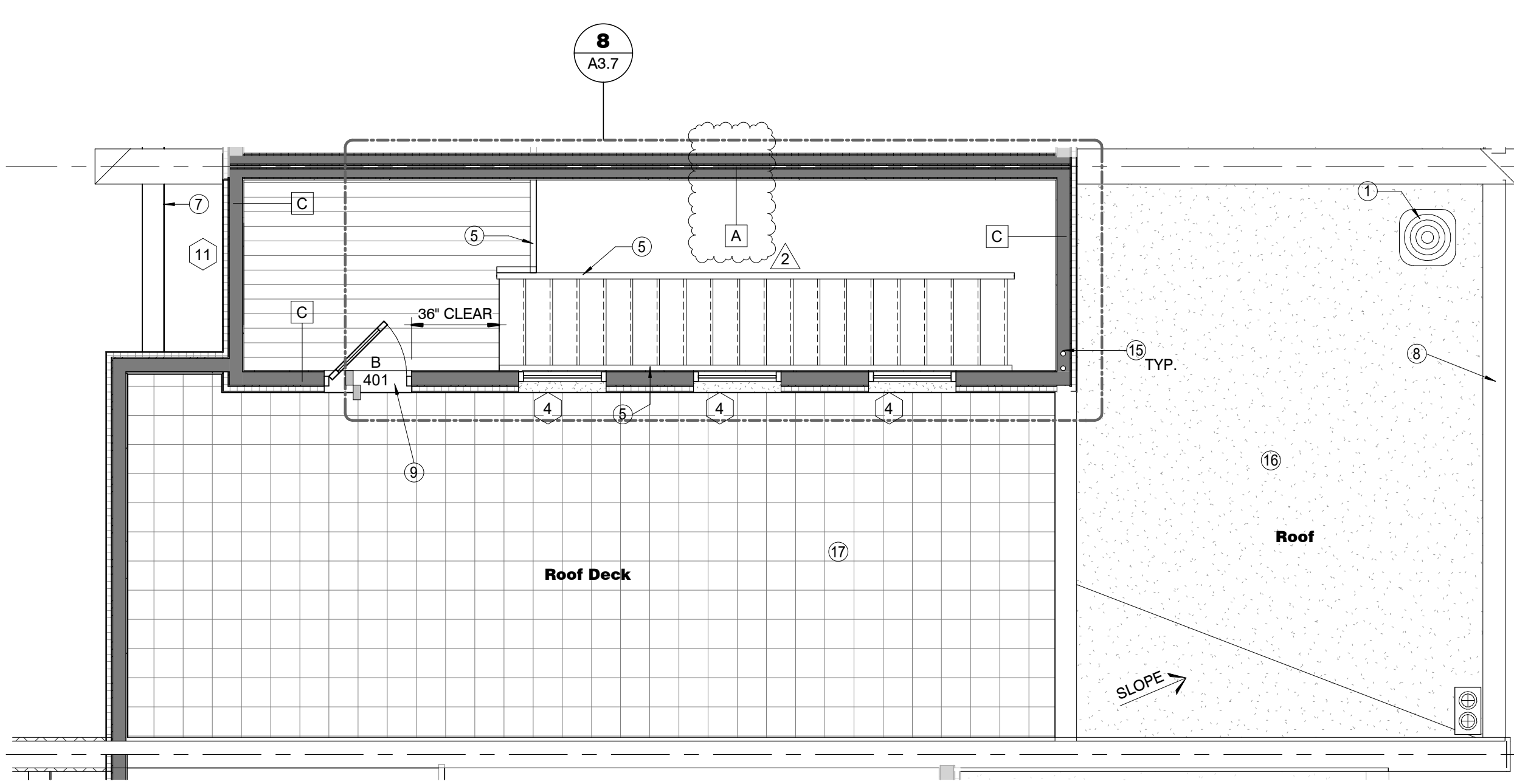
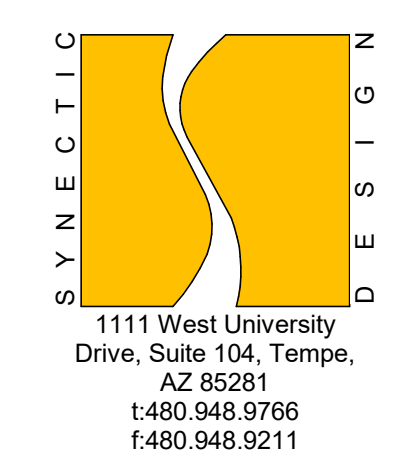
6902-6908 EAST 1ST AVE
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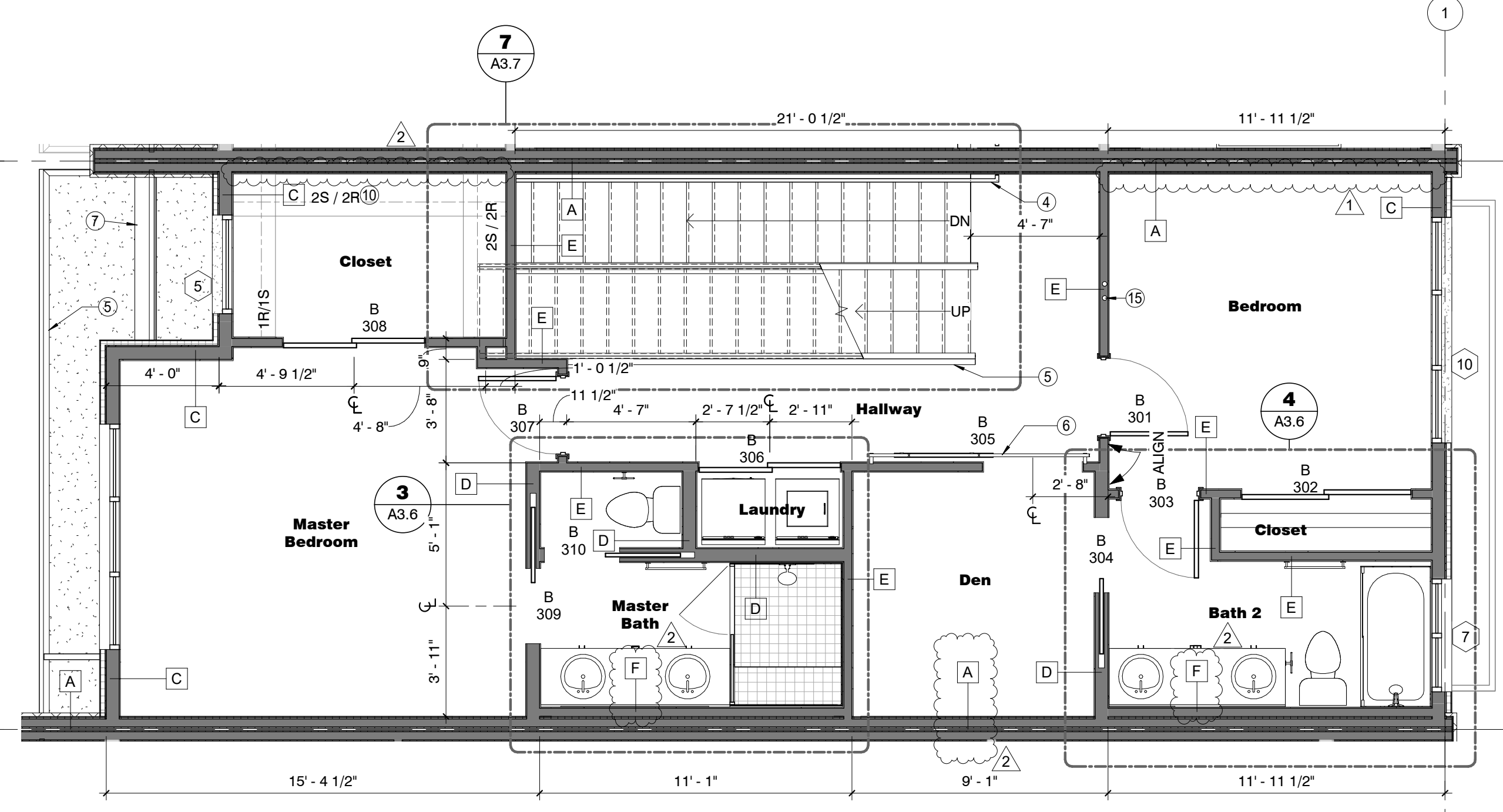
REVISIONS	
1	12/06/19 [1st City Comments]

Phase: CD
 Drawn By: Author
 Reviewed By: Checker
 SDI Project No: 3876
 Date: 12/06/2019

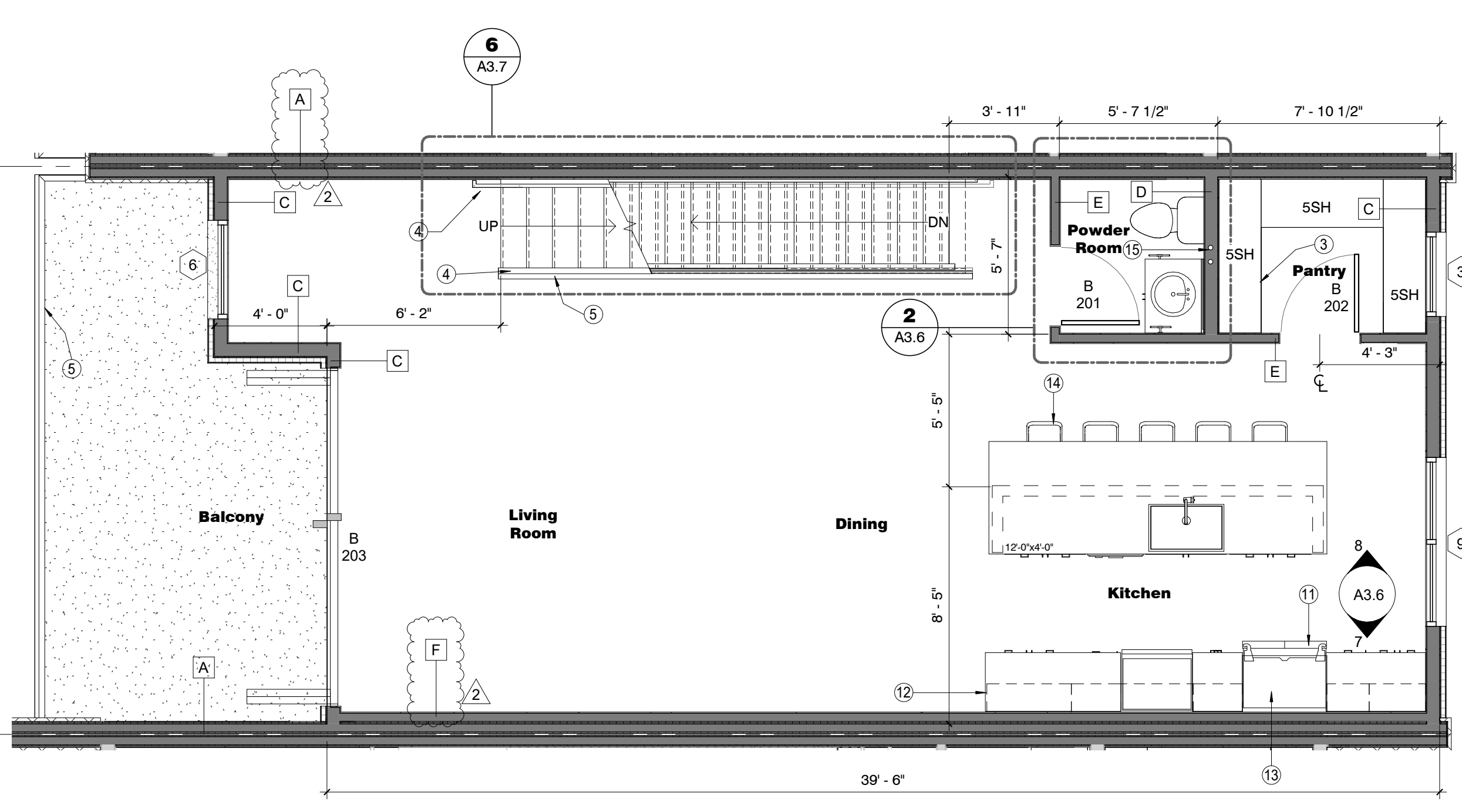
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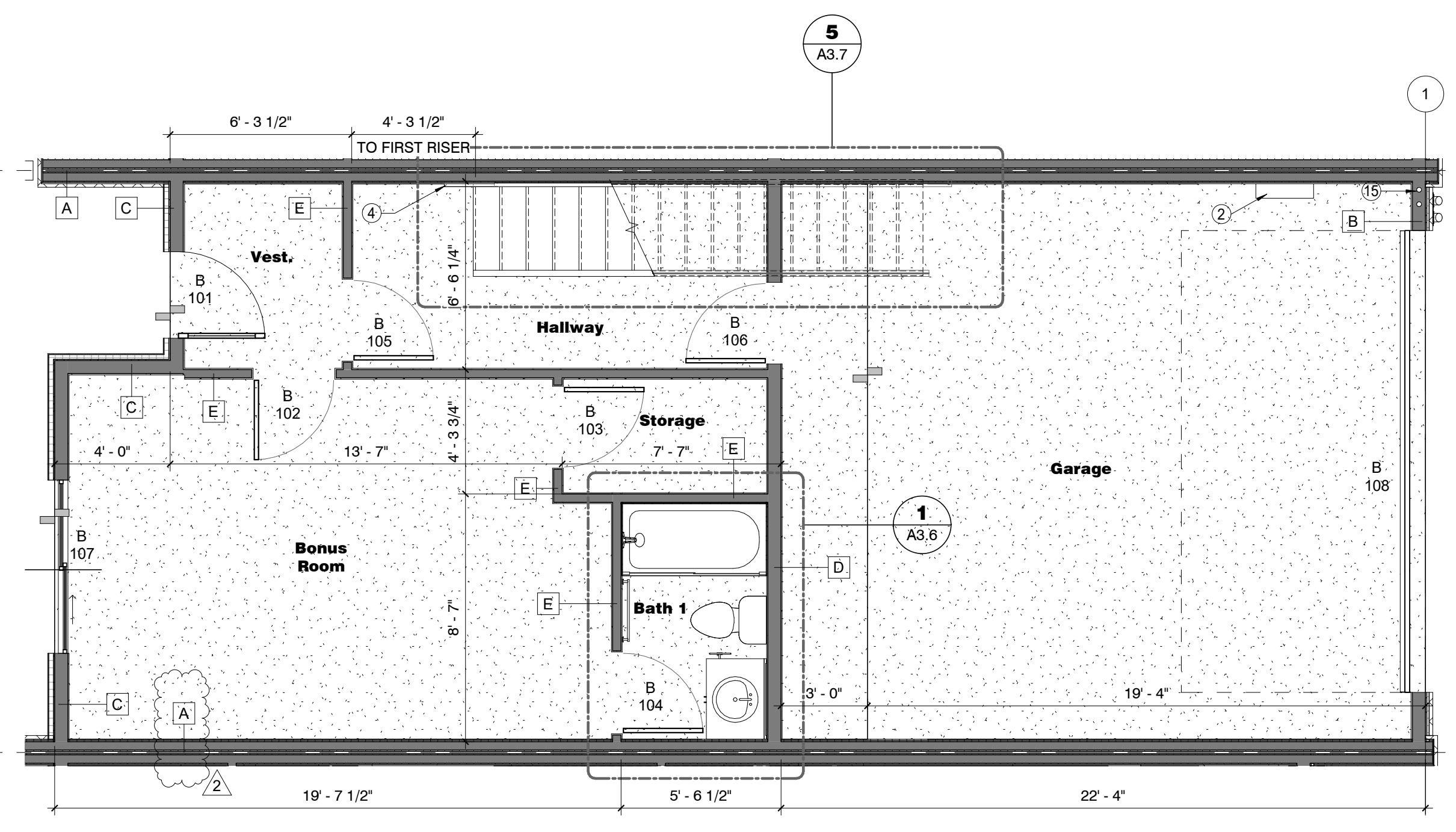
4 UNITS 2-5 - UNIT PLAN - ROOF DECK
1/4" = 1'-0"



3 UNITS 2-5 - UNIT PLAN - 3rd FLOOR
1/4" = 1'-0"



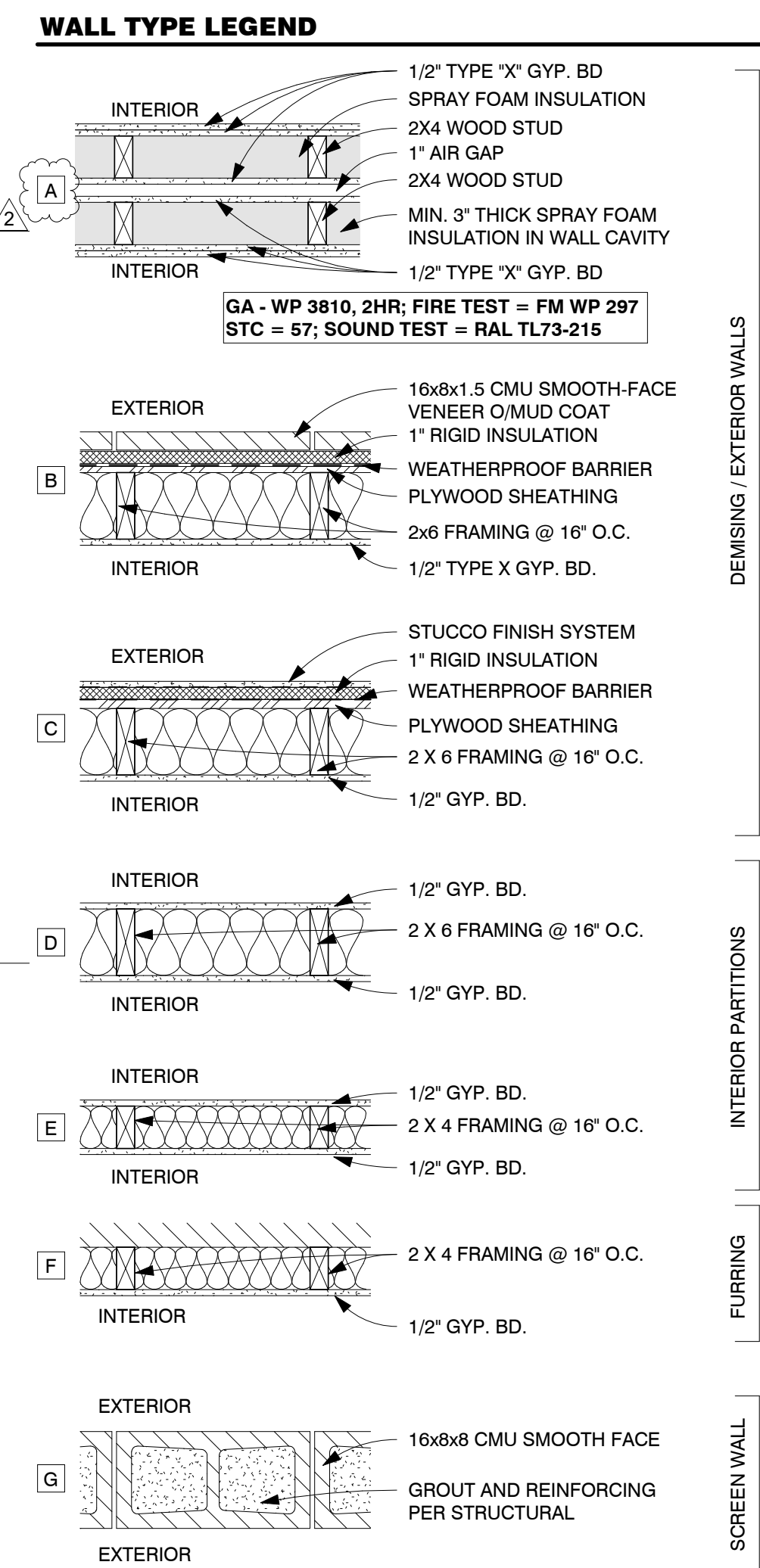
2 UNITS 2-5 - UNIT PLAN - 2nd FLOOR
1/4" = 1'-0"



1 UNITS 2-5 - UNIT PLAN - 1st FLOOR
1/4" = 1'-0"

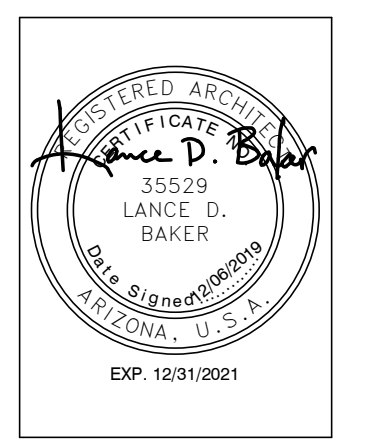
- KEYNOTES**
- MECHANICAL UNIT, TYP. TO BE FULLY SCREENED BY PARAPET
 - ELECTRIC PANEL
 - PANTRY SHELVING
 - HAND RAIL AT 36" MIN. A.F.F. REFER TO 3/A3.10 FOR REQUIREMENTS
 - BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
 - BARN DOOR
 - METAL SHADE LOUVERS, PAINTED - 6/A7.3 and 5/A7.3
 - SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1
 - 4" HIGH THRESHOLD BETWEEN ROOF DECK AND PENTHOUSE
 - CLOSET ROD / SHELVING - PER OWNER SPEC
 - REFRIGERATOR
 - PROVIDE FINISH FACE FOR UPPER AND LOWER END CABINETS
 - PROVIDE MIN. 36" CLEAR FOR REFRIGERATOR
 - FURNITURE BY OTHERS
 - VERTICAL ROOF DRAIN LEADER LOCATION, VERIFY MIN. SLOPE REQUIREMENTS FOR HORIZONTAL TRANSITIONS
 - SPRAY FOAM ROOFING
 - ROOF DECKING

- FLOOR PLAN GENERAL NOTES**
- ALL APPLIANCES TO BE PER OWNER SPEC
 - ALL PLUMBING FIXTURES TO BE PER OWNER SPEC
 - ALL FINISHES TO BE PER OWNER SPEC
 - CABINETRY TO BE SPECIFIED BY OWNER
 - EXTERIOR DIMENSIONS FOUND ON OVERALL BUILDING PLANS



- NOTES:**
- USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS
 - USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS
 - USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS
 - PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
 - PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS. USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP SEPARATED BY MIN. 1/2" GYPSUM BOARD OR OTHER APPROVED THERMAL BARRIER PER IRC SECTION 316.4
 - PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS
 - ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE

FLEETWOOD 6 TOWNHOMES
SINGLE FAMILY / ATTACHED DEVELOPMENT
 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251



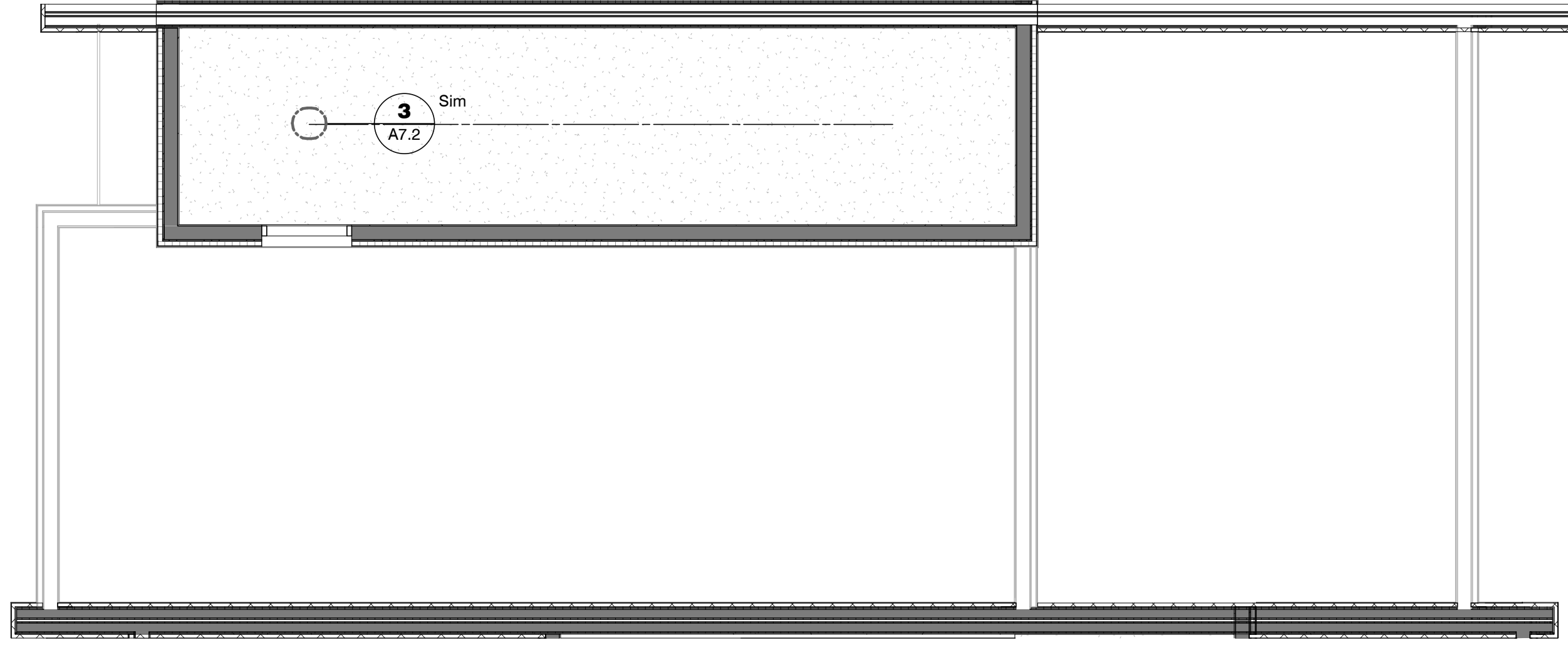
REVISIONS	
1	12/06/19 1st City Comments
2	12/06/19 Owner Revisions

Phase: CD
 Drawn By: Author
 Reviewed By: Checker
 SDI Project No: 3876
 Date: 12/06/2019

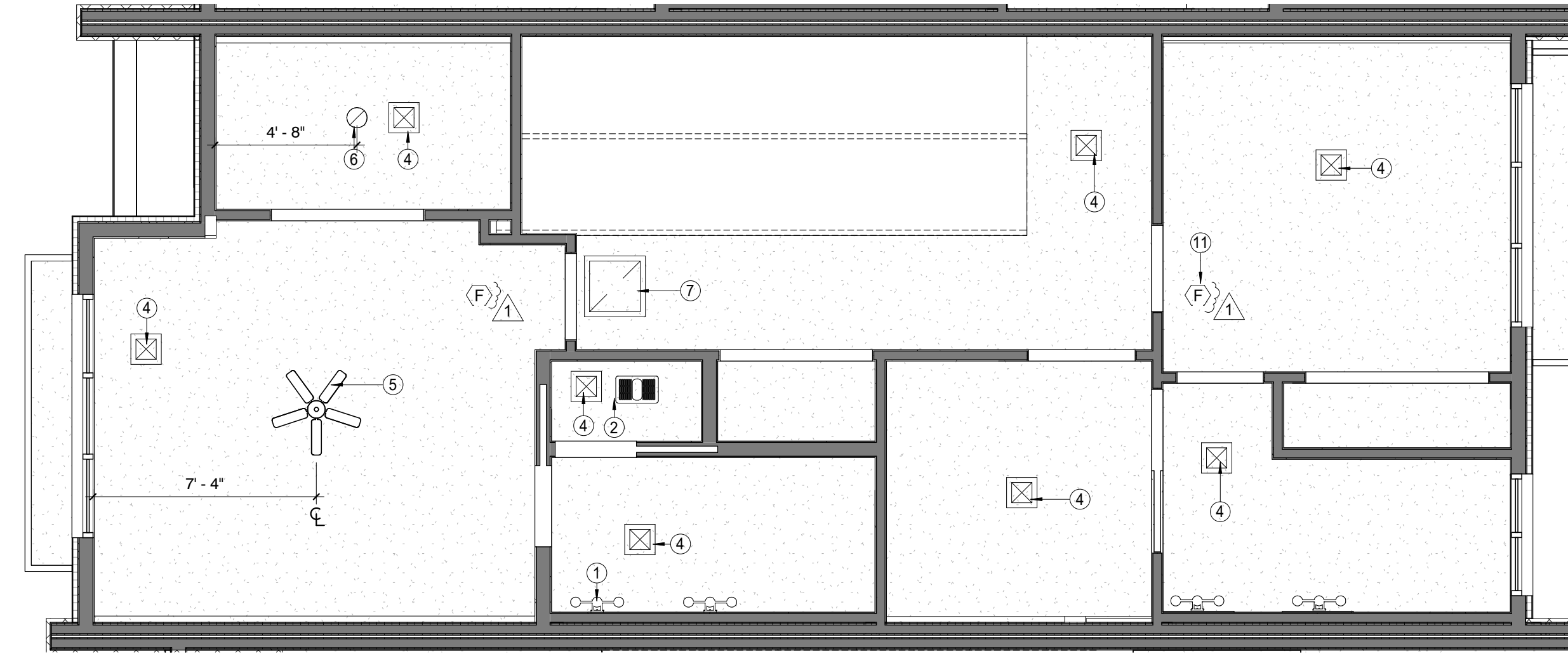
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 UNITS 2-5 UNIT FLOORPLANS

19-ZN-2018 35-DR-2018

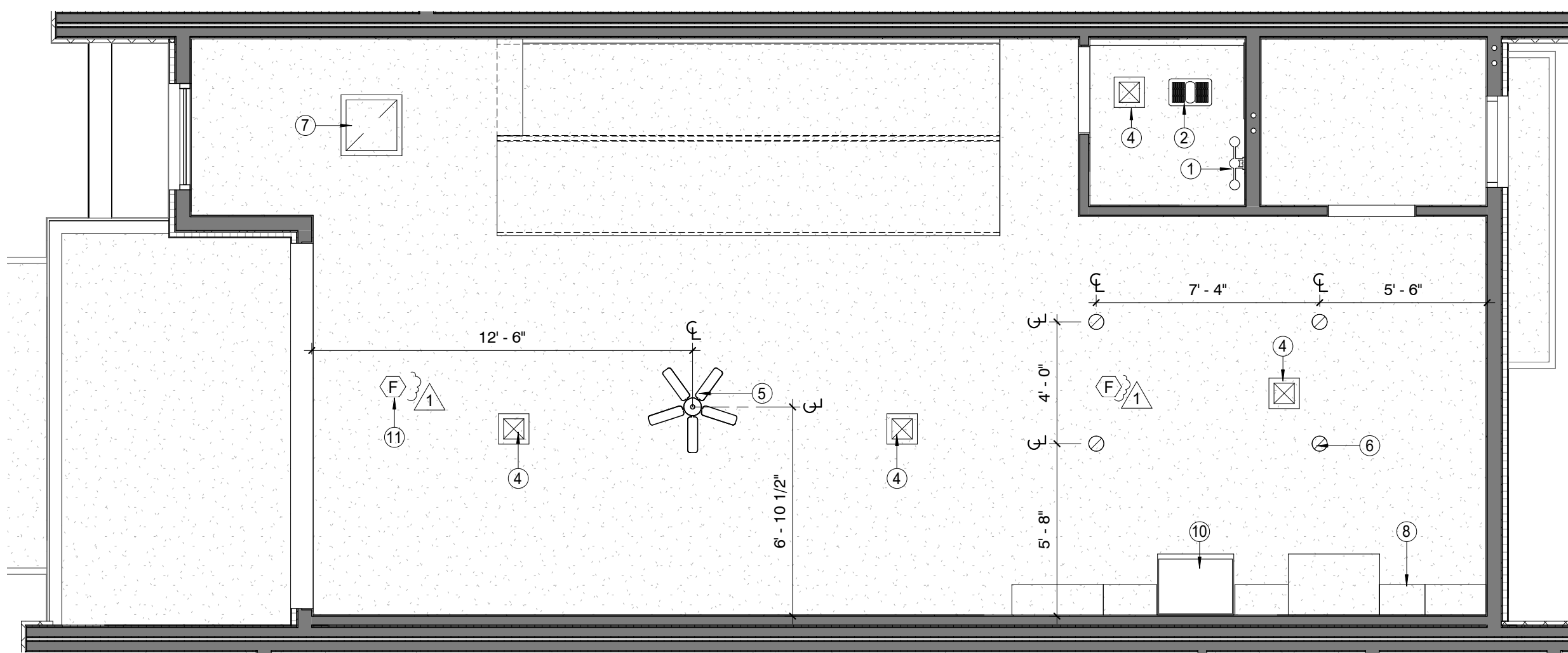
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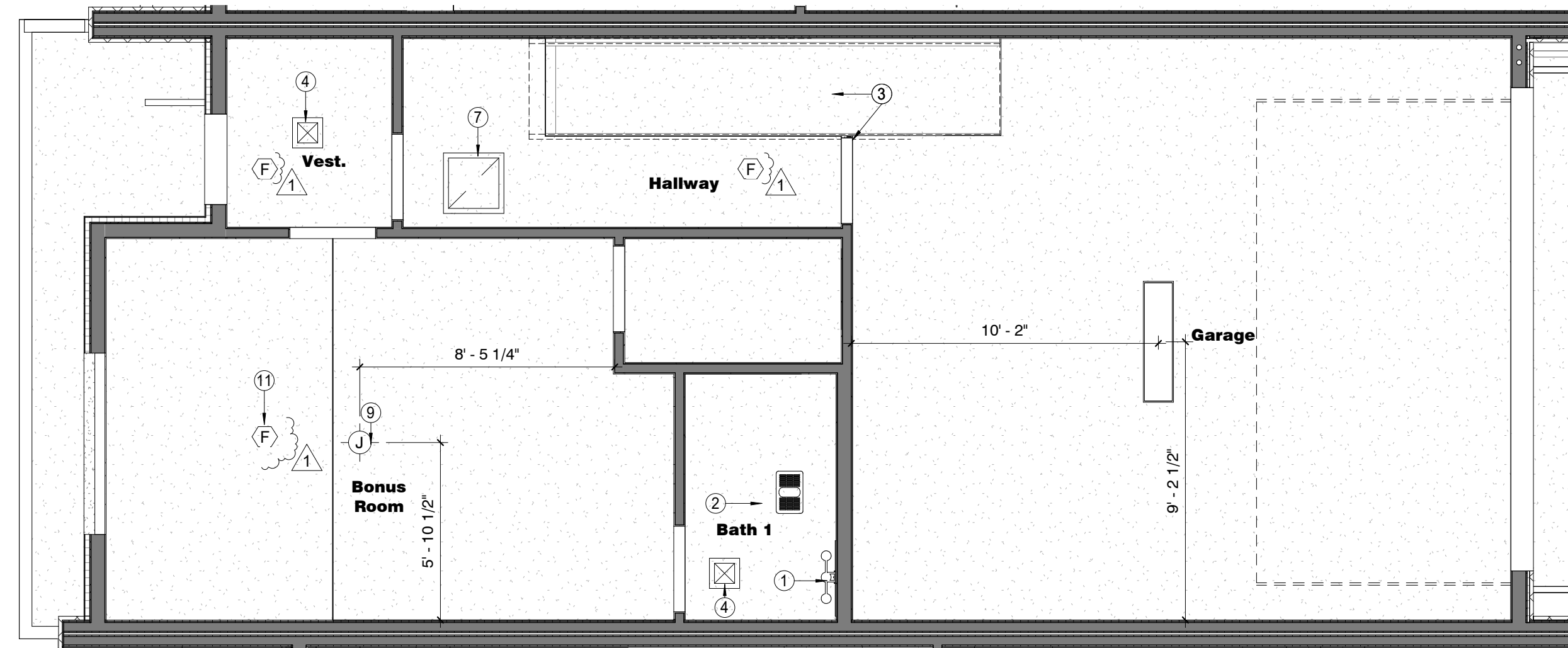
4 Roof Deck Unit 2-5 RCP
 1/4" = 1'-0"



3 3RD FLOOR UNIT 2-5 RCP
 1/4" = 1'-0"



2 2ND FLOOR UNIT 2-5 RCP
 1/4" = 1'-0"



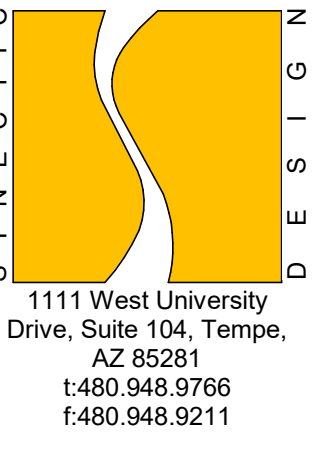
1 1ST FLOOR UNIT 2-5 RCP
 1/4" = 1'-0"

KEYNOTES

- 1 VANITY LIGHT FIXTURE
- 2 EXHAUST FAN
- 3 5/8" TYPE 'X' GYP BOARD TO BE AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE
- 4 MECHANICAL SUPPLY GRILL. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION
- 5 CEILING FAN
- 6 RECESSED CAN LIGHT
- 7 MECHANICAL RETURN GRILL. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION
- 8 COUNTER TOP, BASE & UPPER CABINET
- 9 JUNCTION BOX - TO BE CAPPED UNLESS OTHERWISE NOTED BY OWNER
- 10 RANGE HOOD
- 11 COMBINATION SMOKE/CO DETECTOR, TYP. SEE ELECTRICAL PLANS FOR MORE INFORMATION.

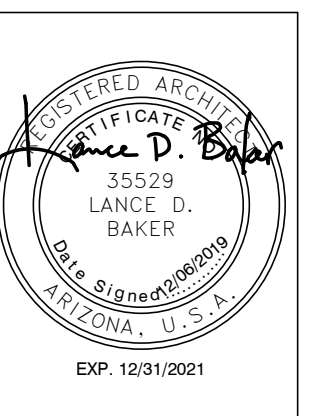
REFLECTED CEILING PLAN GENERAL NOTES

- A. MINIMUM 5/8" TYPE X GYP BOARD AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE.
- B. PLUMBING FIXTURES TO BE PER OWNERS SPEC
- C. LIGHTING FIXTURES TO BE PER OWNERS SPEC
- D. ALL LIGHTING DIMENSIONED TO CENTER OF FIXTURE UNLESS NOTED OTHERWISE
- E. CENTER BATHROOM LIGHT FIXTURES ABOVE VANITY MIRRORS UNLESS NOTED OTHERWISE.



**FLEETWOOD 6 TOWNHOMES
 SINGLE FAMILY/ ATTACHED DEVELOPMENT**

6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

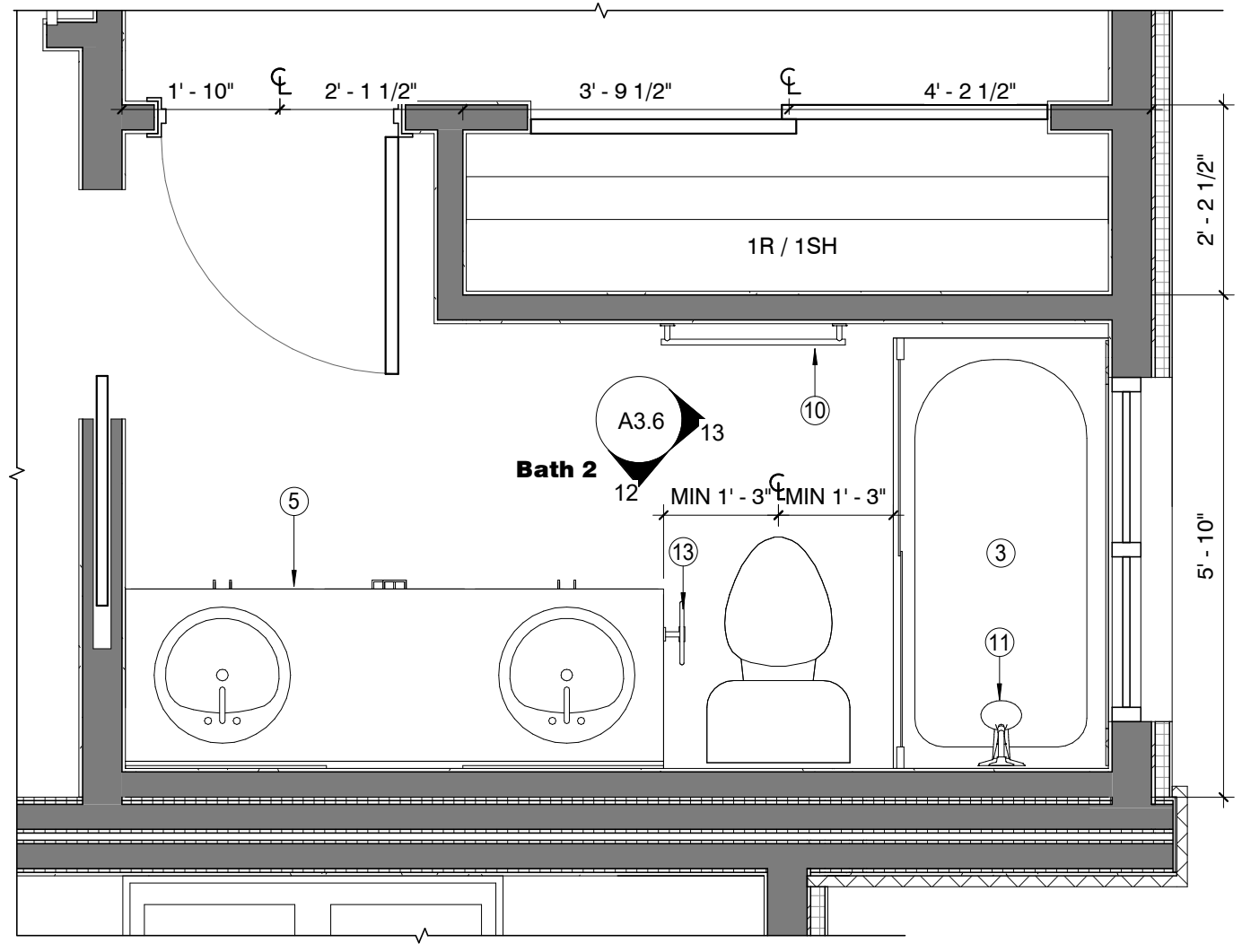


REVISIONS	
1	12/06/19 1st City Comments

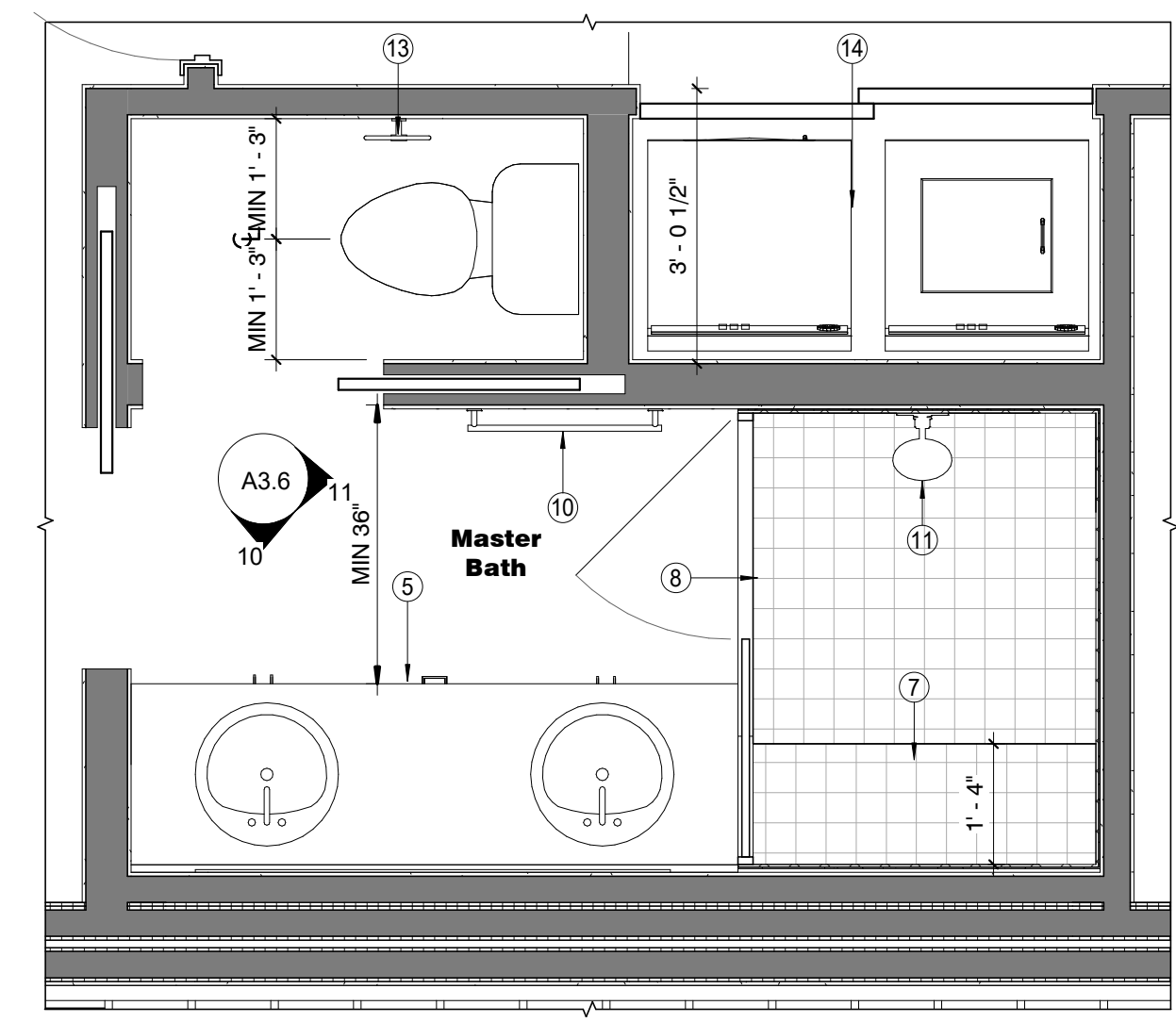
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 Drawn By: Author
 Reviewed By: Checker
 SDI Project No: 3876
 Date: 12/06/2019

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 UNITS 2-5 REFLECTED
 CEILING PLANS

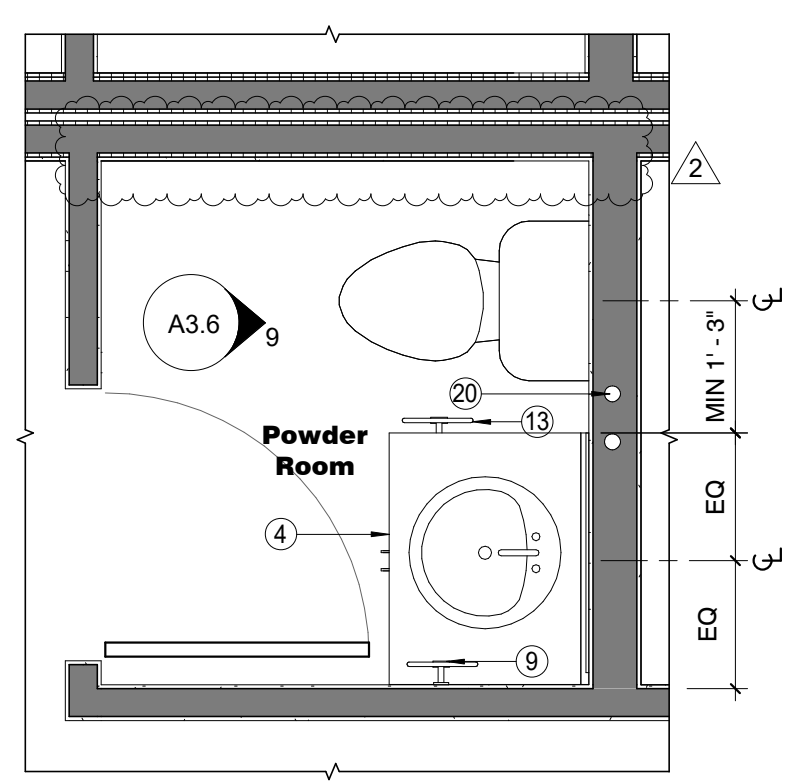
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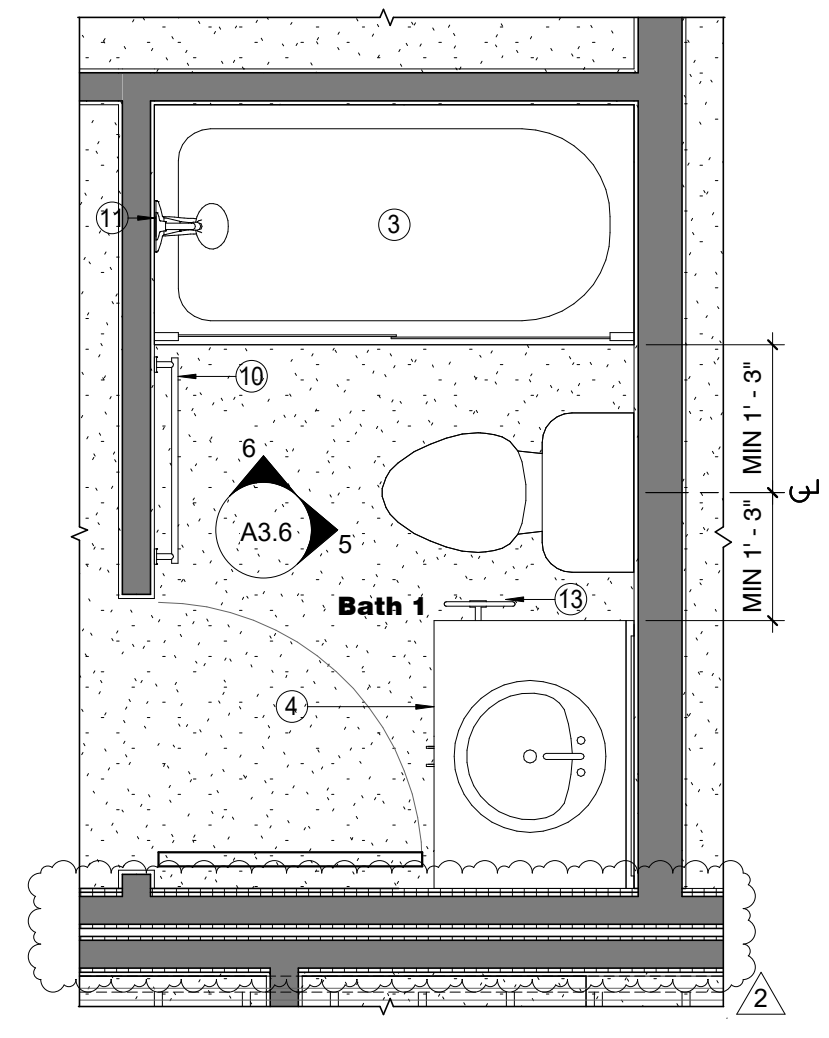
4 ENLARGED PLAN - UNITS 2-5 - BATH 2
1/2" = 1'-0"



3 ENLARGED PLAN - UNITS 2-5 - MASTER BATH / LAUNDRY
1/2" = 1'-0"



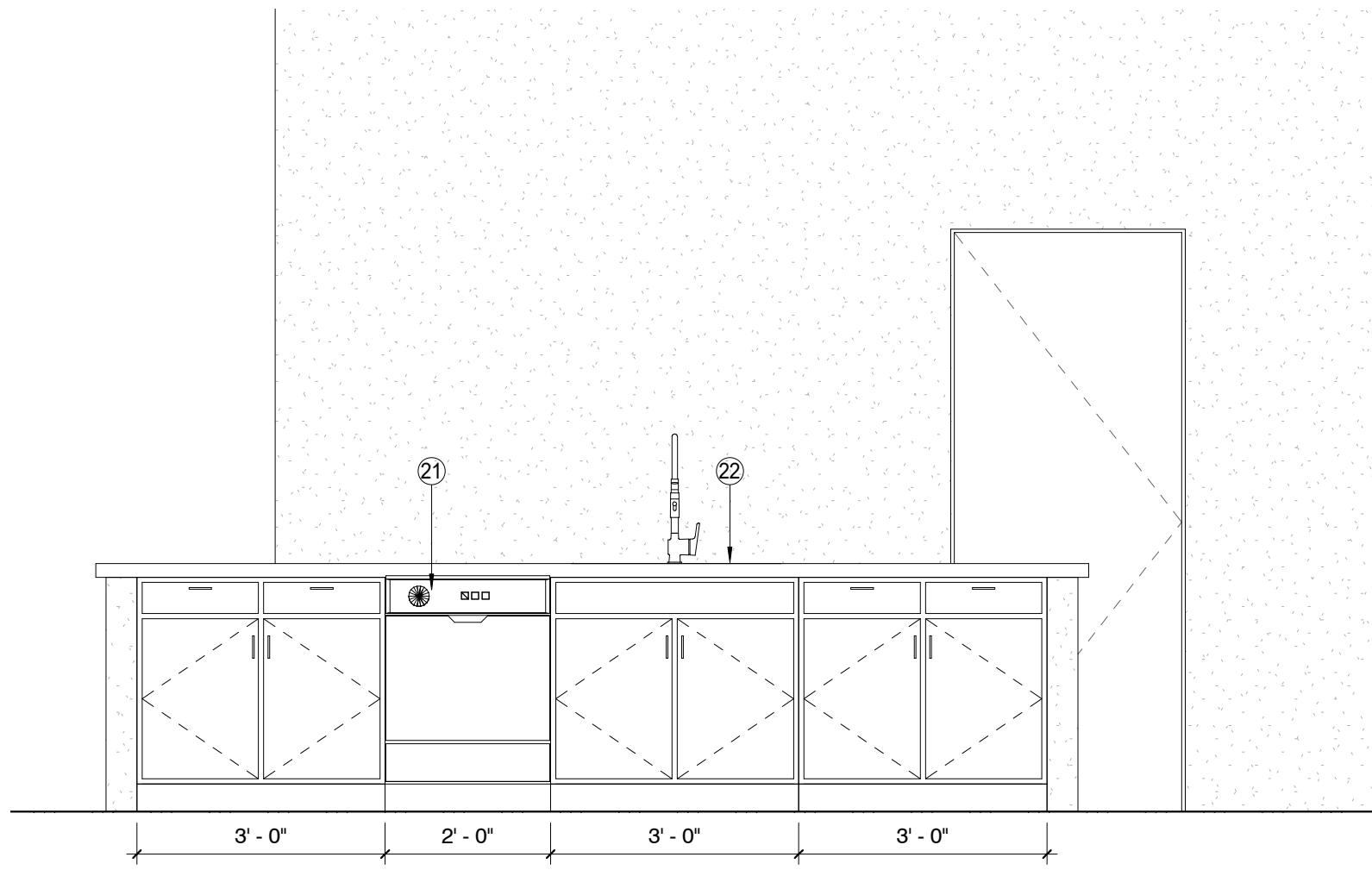
2 ENLARGED PLAN - UNITS 2-5 - POWDER ROOM
1/2" = 1'-0"



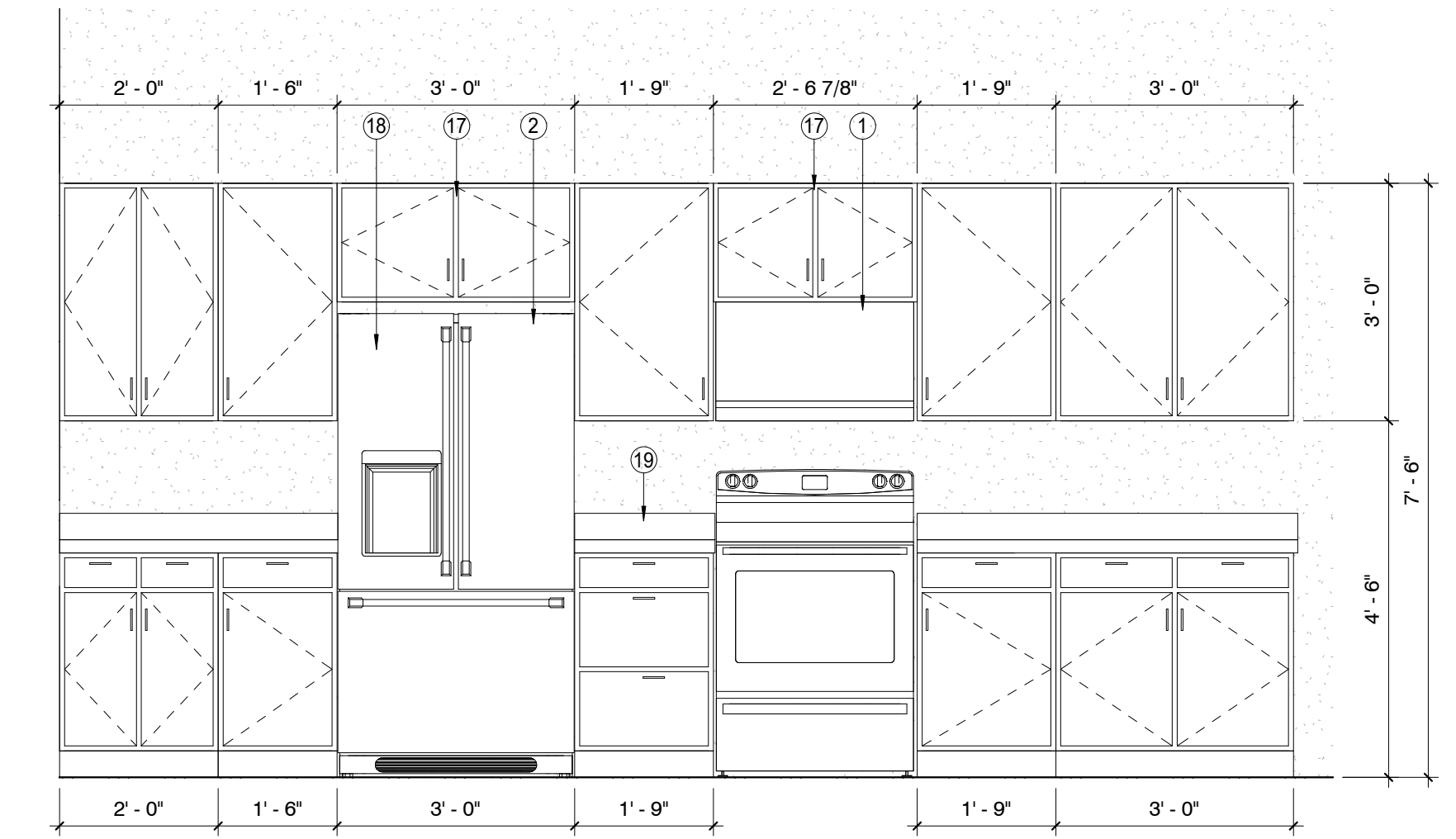
1 ENLARGED PLAN - UNITS 2-5 - BATHROOM 1
1/2" = 1'-0"

- KEYNOTES**
- 1 RANGE HOOD
 - 2 REFRIGERATOR
 - 3 BATHTUB / SHOWER COMBO
 - 4 VANITY SINK, COUNTER AND BASE CABINET
 - 5 SINK VANITY, COUNTER AND BASE CABINET
 - 6 VANITY MIRROR
 - 7 BUILT-IN BENCH SEATING- 18" A.F.F.
 - 8 SHOWER ENCLOSURE WITH TEMPERED GLASS AND MINIMUM 22" OPENING
 - 9 TOWEL RING
 - 10 TOWEL BAR
 - 11 SHOWER AND BATHTUB FIXTURES
 - 12 4" BACKSPASH TO MATCH VANITY COUNTER TOP
 - 13 TOILET PAPER RING
 - 14 WASHER AND DRYER BY OTHERS
 - 15 VANITY LIGHT FIXTURE
 - 16 TILE SURROUND AT SHOWER AND BATHTUBS
 - 17 SPECIALTY CABINETS
 - 18 PROVIDE MIN. 36" CLEAR FOR REFRIGERATOR
 - 19 4" BACKSPASH TO MATCH COUNTER TOP
 - 20 VERTICAL ROOF DRAIN LEADER LOCATION, VERIFY MIN. SLOPE REQUIREMENTS FOR HORIZONTAL TRANSITIONS
 - 21 DISHWASHER
 - 22 KITCHEN SINK

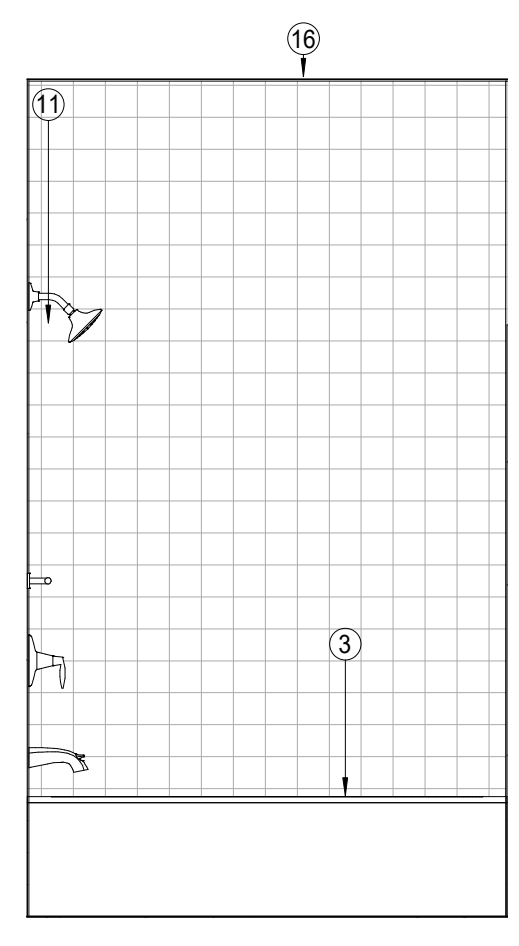
- ENLARGED PLAN/INTERIOR ELEV. GENERAL NOTES**
- A. ALL PLUMBING FIXTURES TO BE PER OWNER SPEC
 - B. ALL BATH ACCESSORIES TO BE PER OWNER SPEC
 - C. ALL APPLIANCES TO BE PER OWNER SPEC
 - D. ALL MILLWORK / CABINETRY TO BE PER OWNER SPEC
 - E. ALL LIGHTING FIXTURES TO BE PER OWNER SPEC
 - F. ALL FINISHES PER OWNERS SPEC
 - G. NON-ABSORBENT MATERIAL TO ME A MINIMUM OF 6" A.F.F. ABOVE SHOWER BASE OR BATHTUB.
 - H. LOWER CABINETS TO HAVE 36" MINIMUM CLEAR SPACE FOR REFRIGERATOR.
 - I. CENTER BATHROOM LIGHT FIXTURES OVER VANITIES UNLESS OTHERWISE NOTED



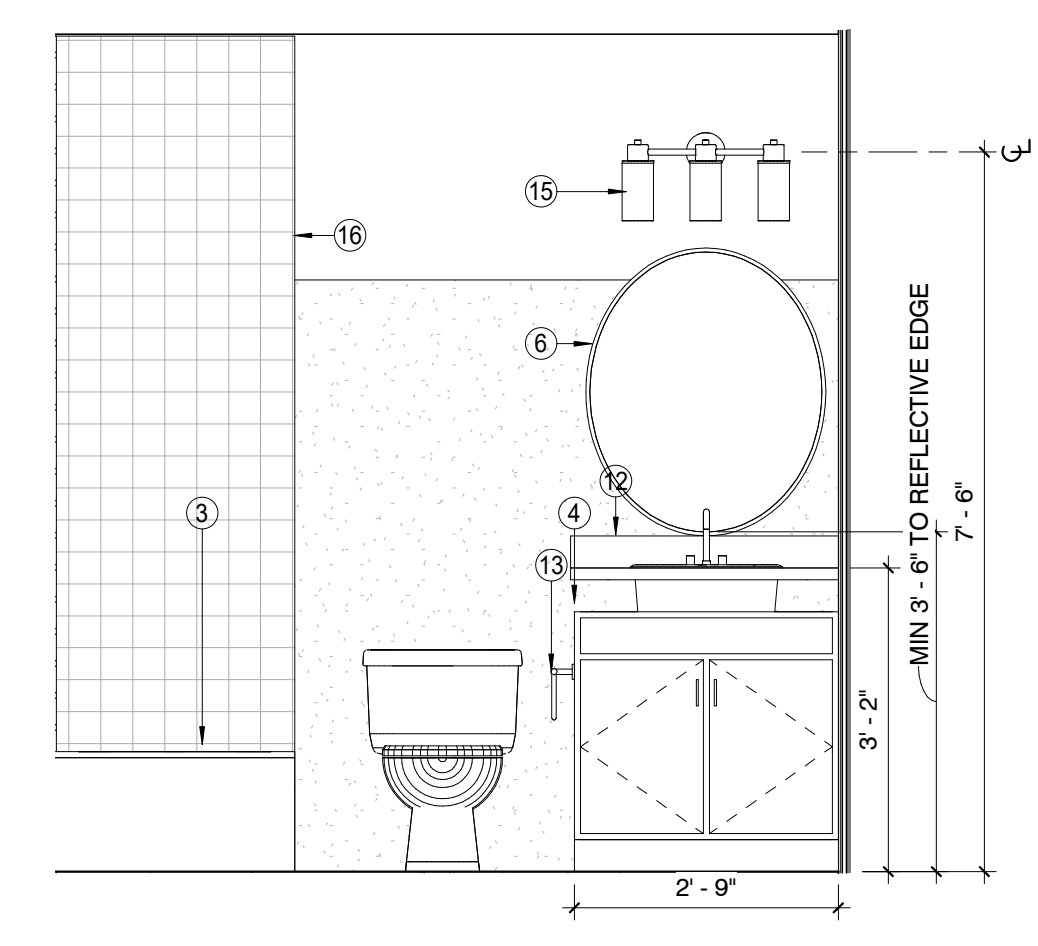
8 INT. ELEV. - UNITS 2-5 - KITCHEN
1/2" = 1'-0"



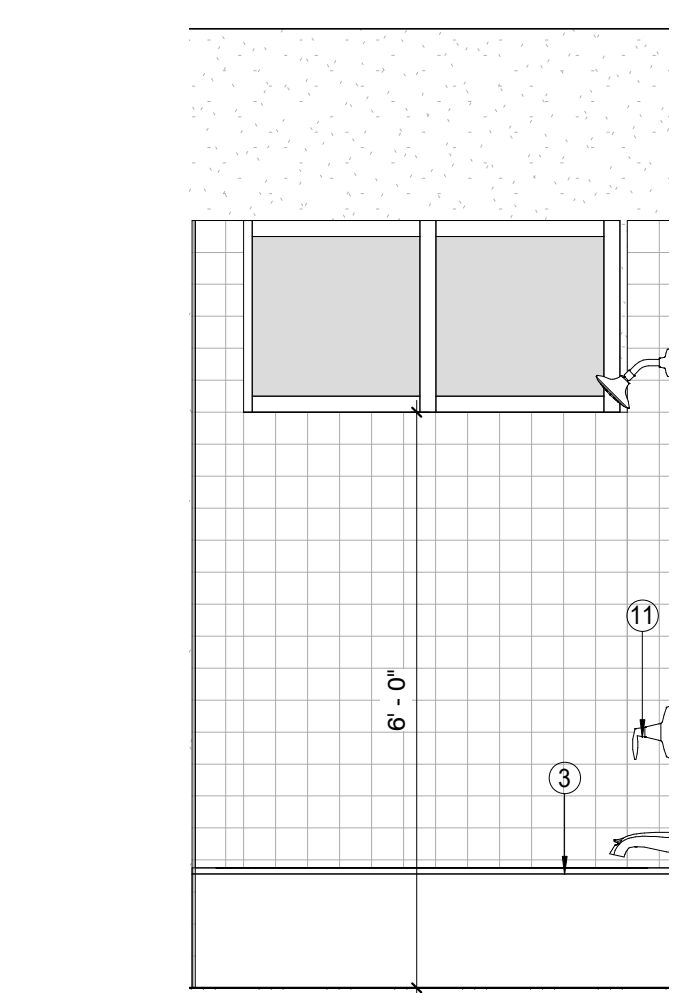
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1/2" = 1'-0"



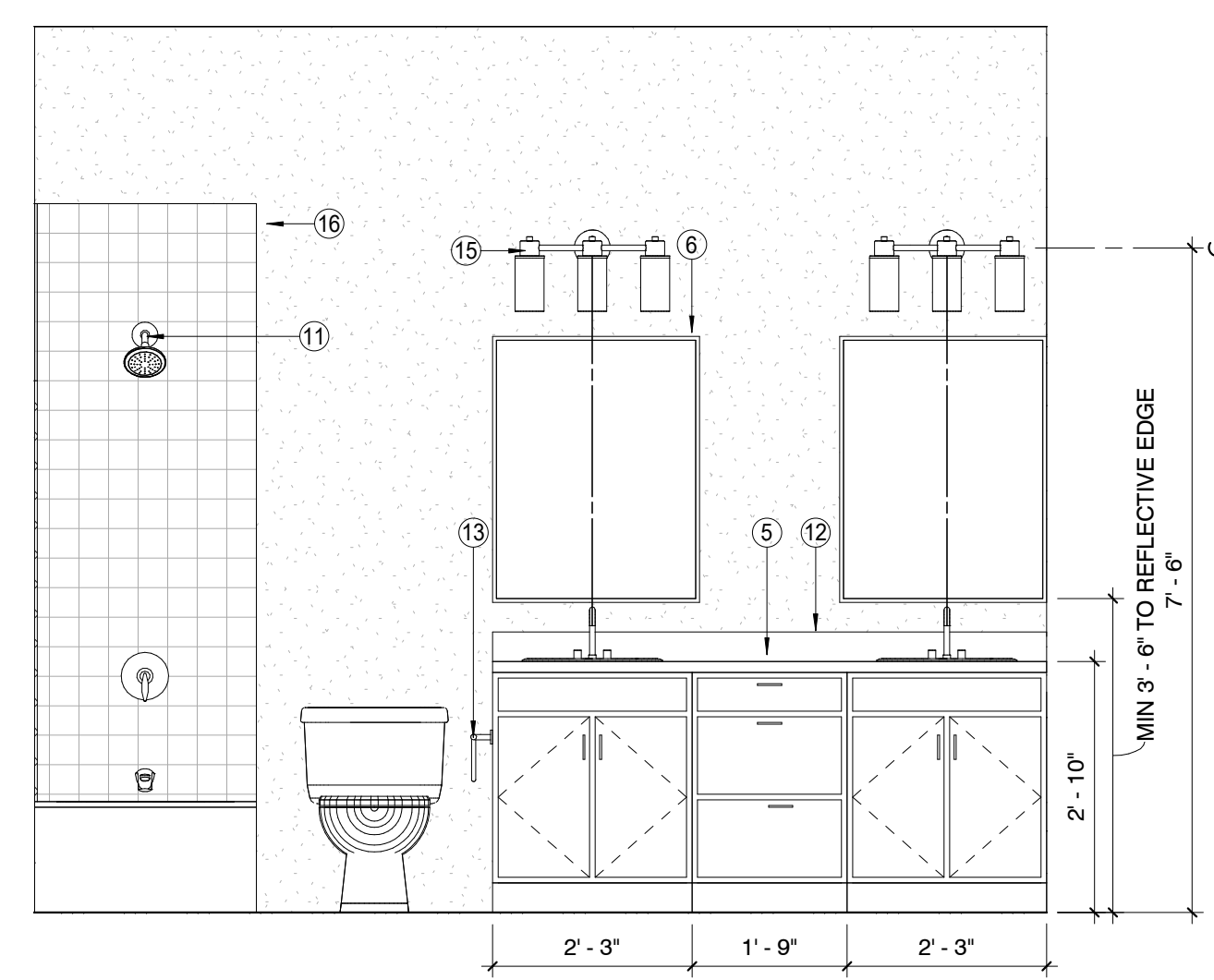
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1/2" = 1'-0"



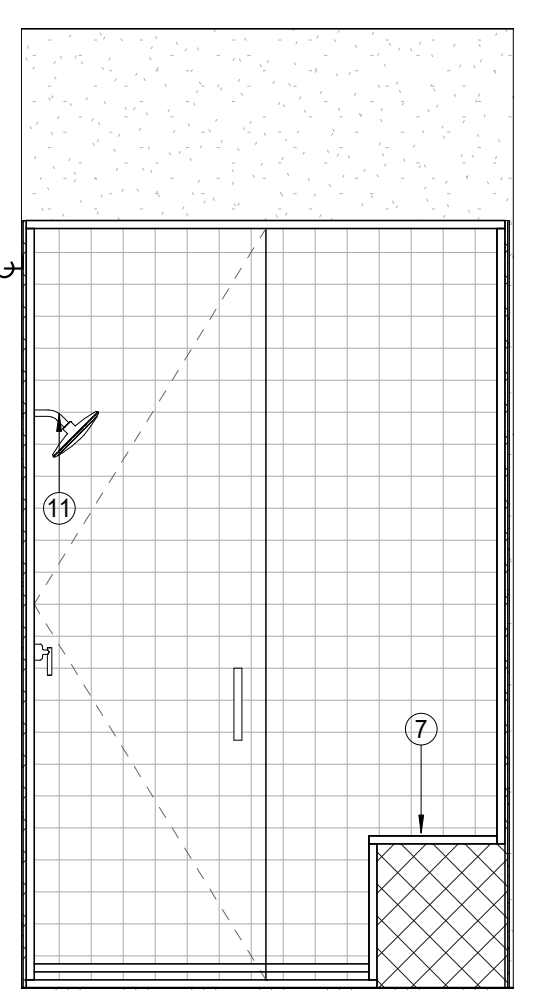
5 INT. ELEV. - UNITS 2-5 - BATH 1
1/2" = 1'-0"



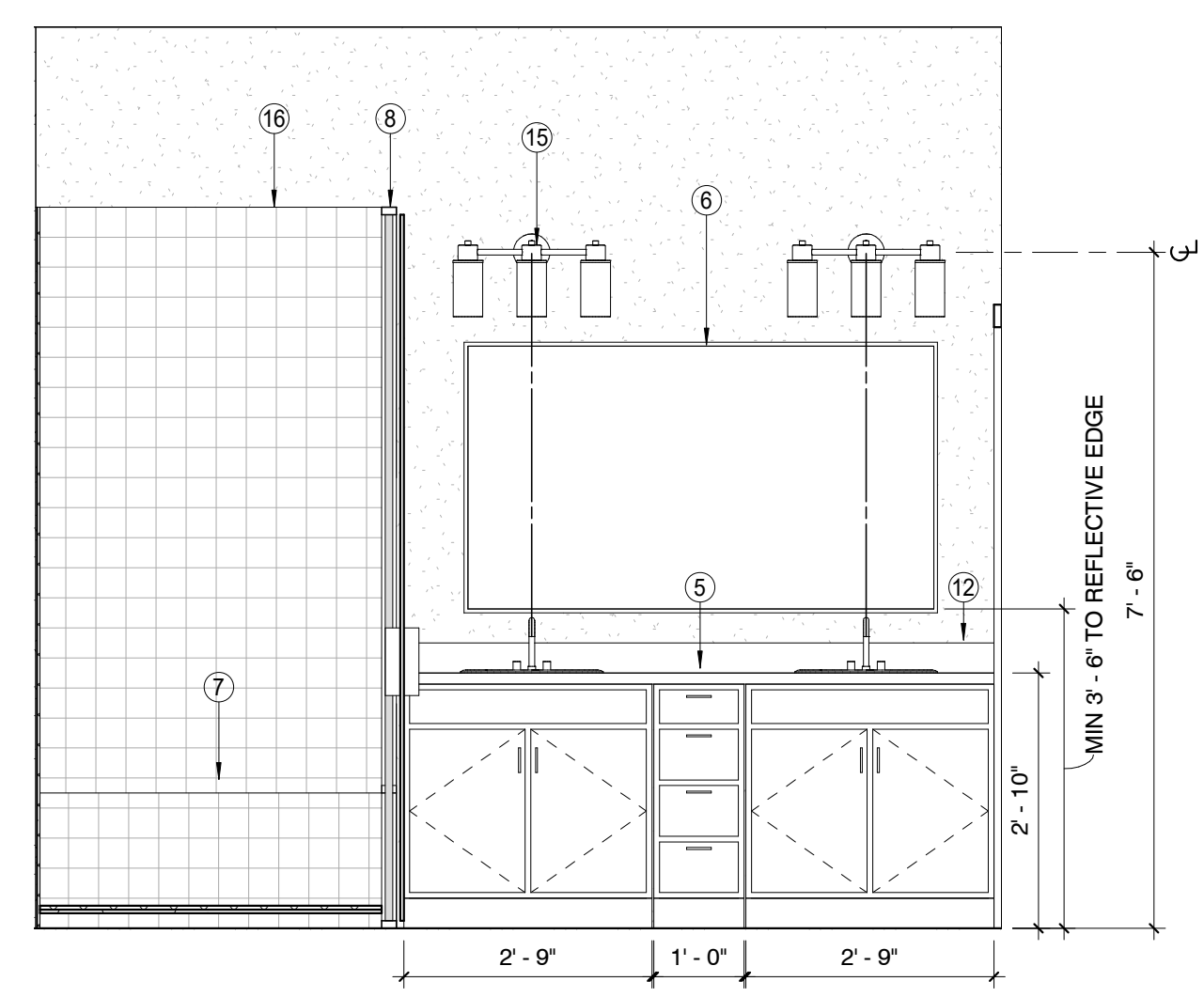
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1/2" = 1'-0"



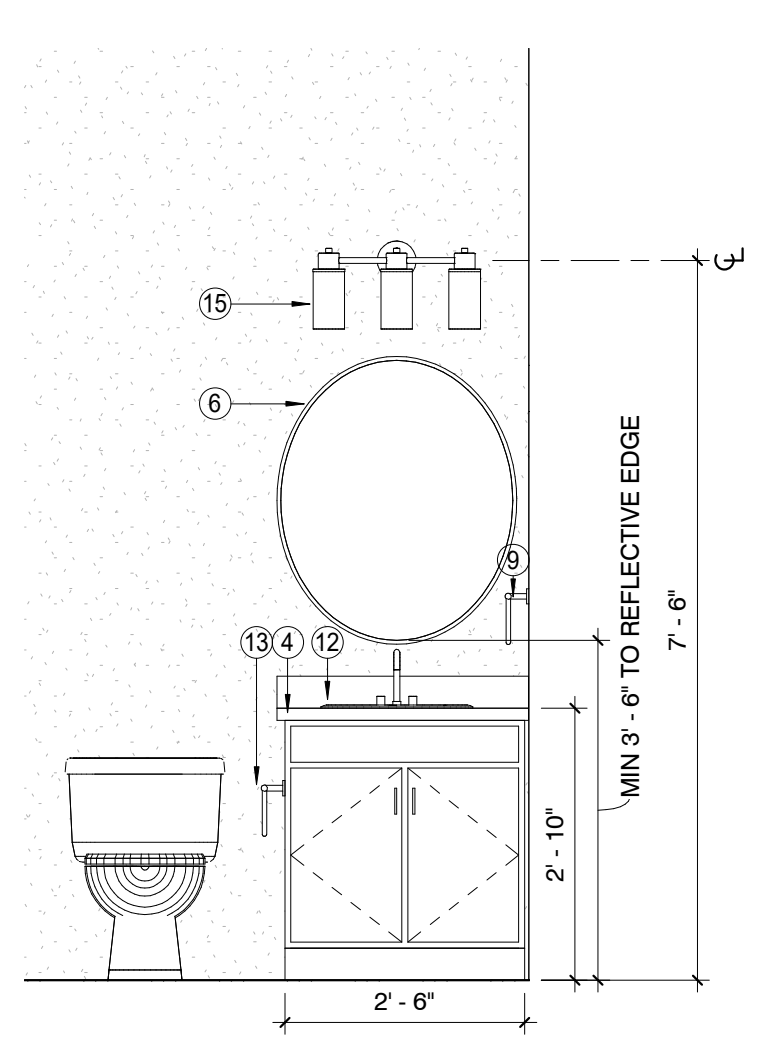
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1/2" = 1'-0"



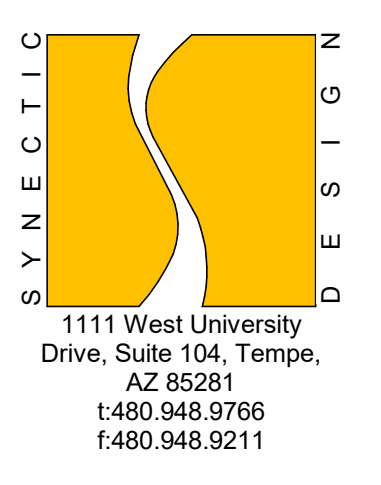
11 INT. ELEV. - UNITS 2-5 - MASTER BATH
1/2" = 1'-0"



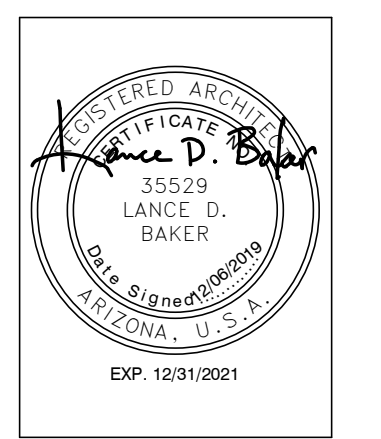
10 INT. ELEV. - UNITS 2-5 - MASTER BATH
1/2" = 1'-0"



9 INT. ELEV. - UNITS 2-5 - POWDER RM
1/2" = 1'-0"



FLEETWOOD 6 TOWNHOMES
SINGLE FAMILY/ ATTACHED DEVELOPMENT
 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

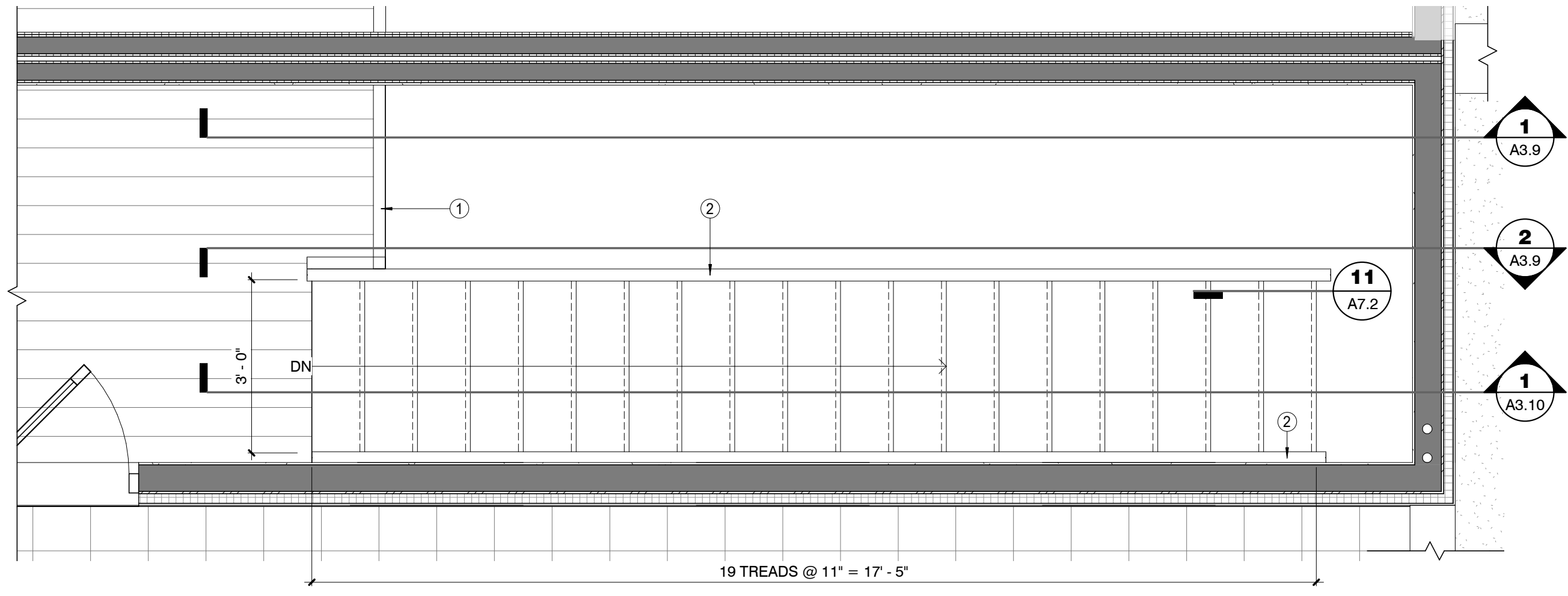


REVISIONS	
2	12/06/19 Owner Revisions

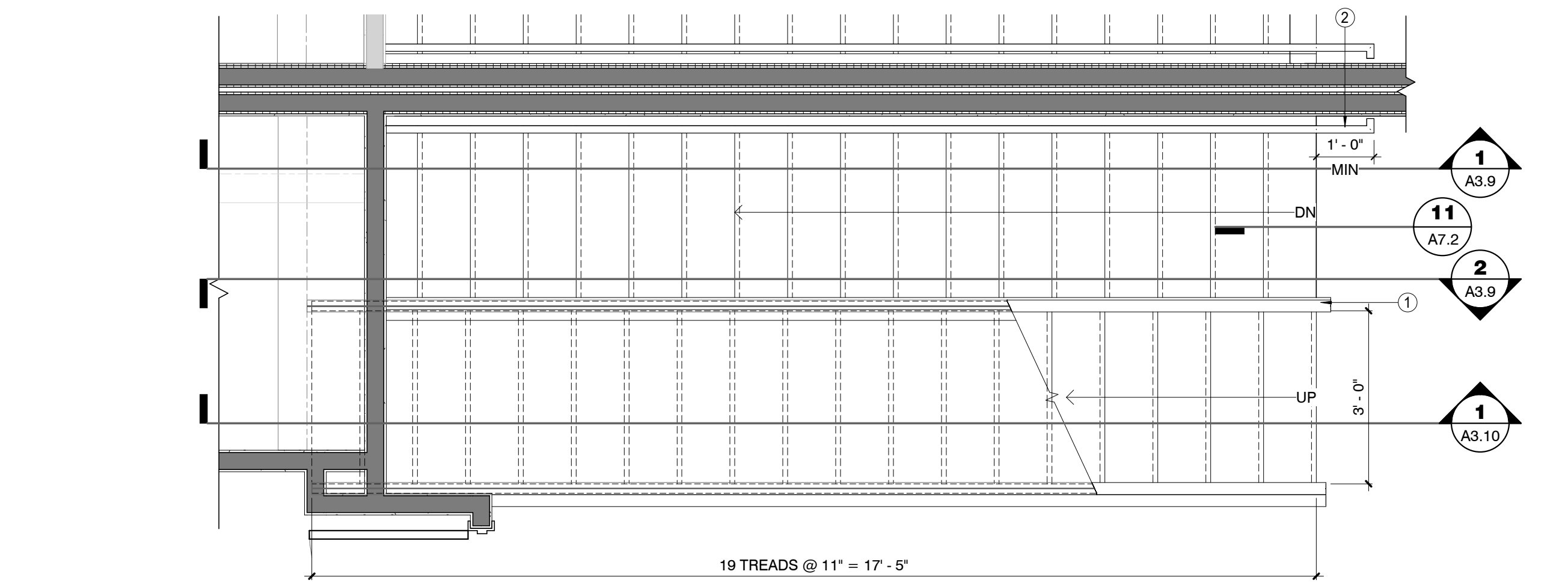
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 Drawn By: Author
 Reviewed By: Checker
 SDI Project No: 3876
 Date: 12/06/2019

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 UNITS 2-5 ENLARGED
 PLANS & INTERIOR
 ELEVATIONS

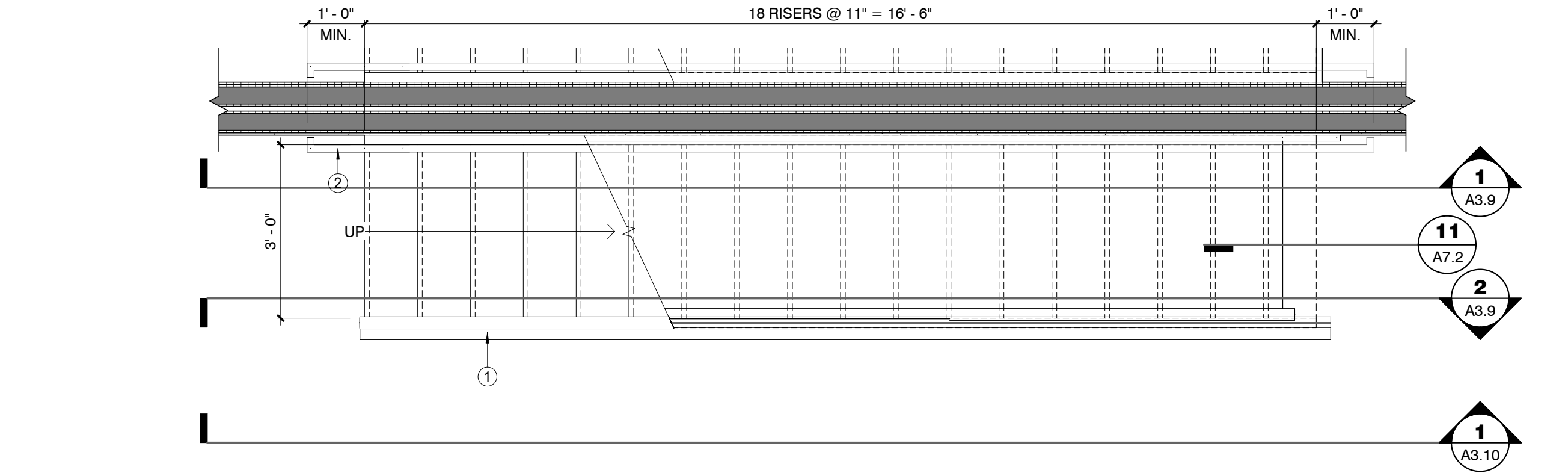
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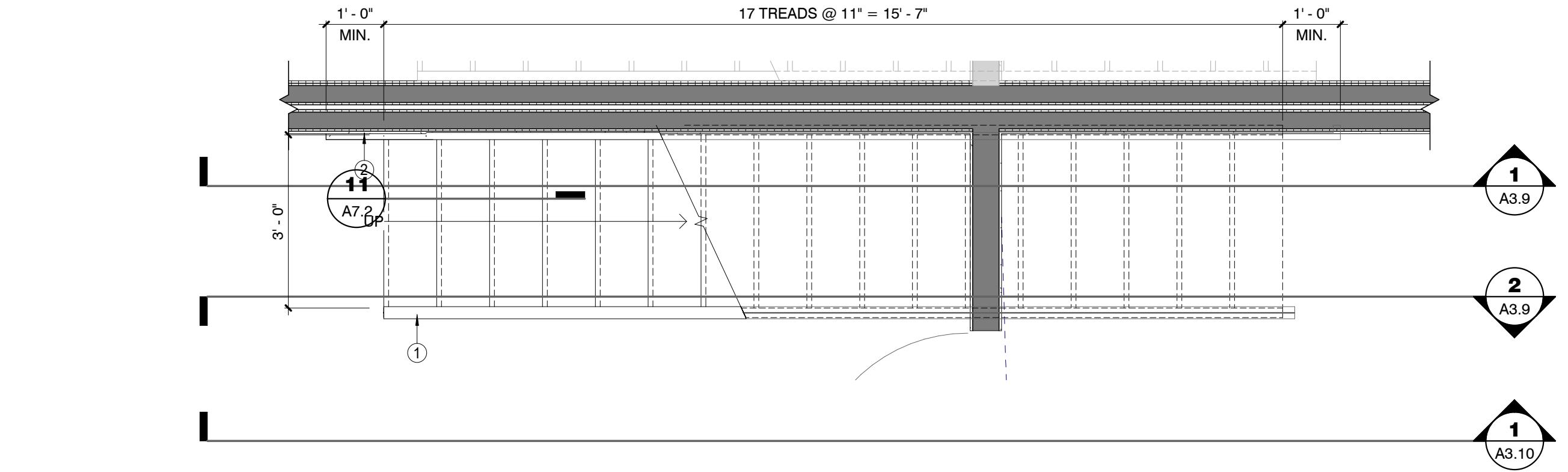
8 UNITS 2-5 - ENLARGED STAIR PLAN - ROOF DECK
1/2" = 1'-0"



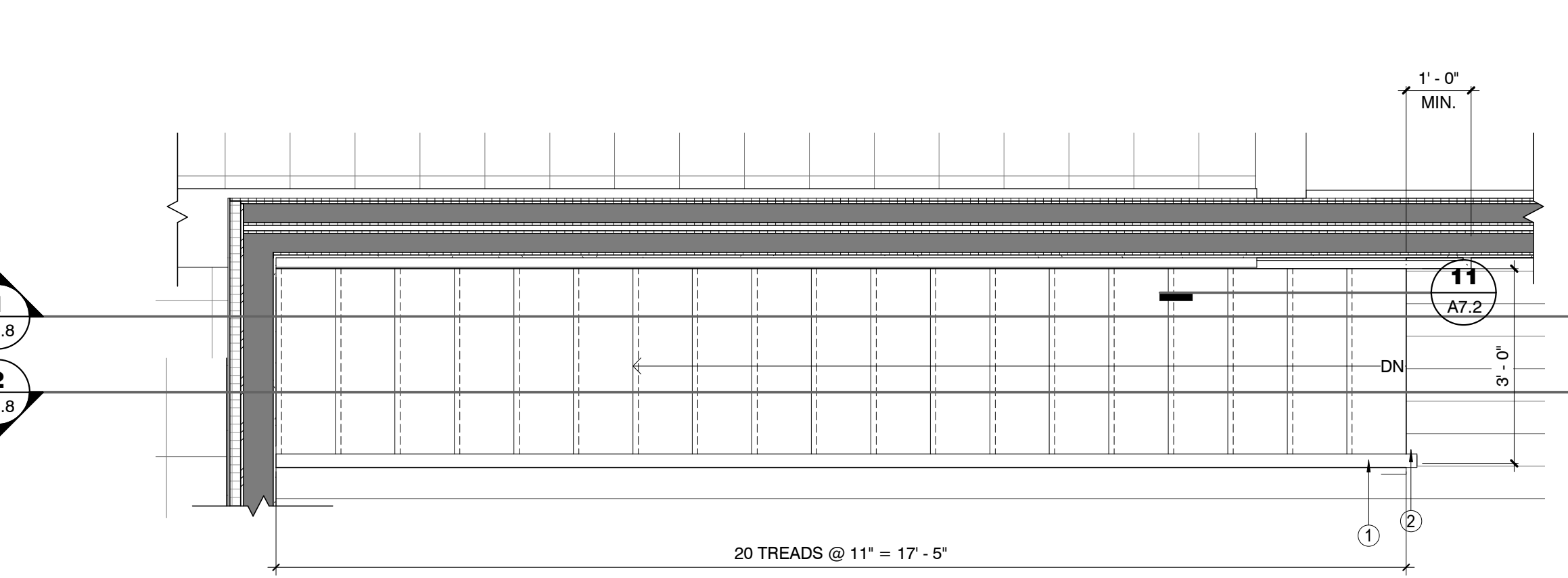
7 UNITS 2-5 - ENLARGED STAIR PLAN - 3rd FLOOR
1/2" = 1'-0"



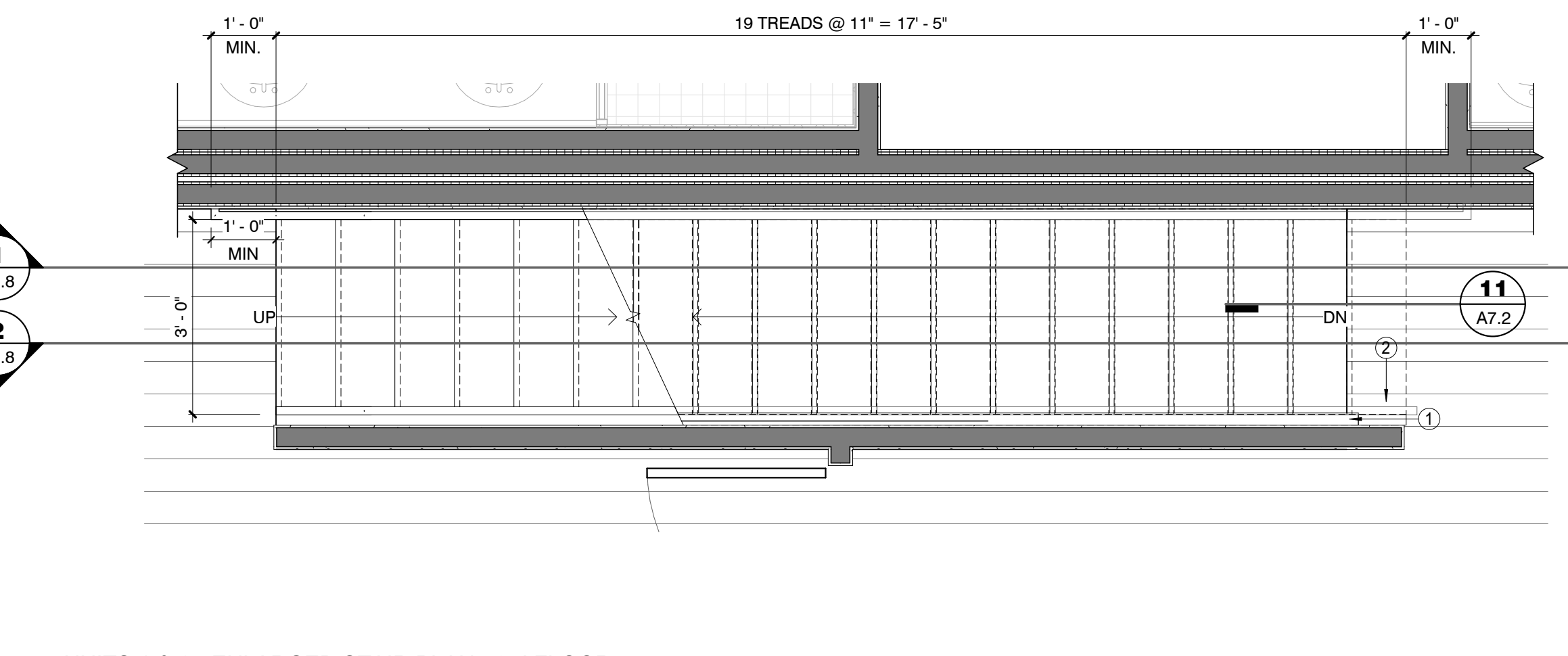
6 UNITS 2-5 - ENLARGED STAIR PLAN - 2nd FLOOR
1/2" = 1'-0"



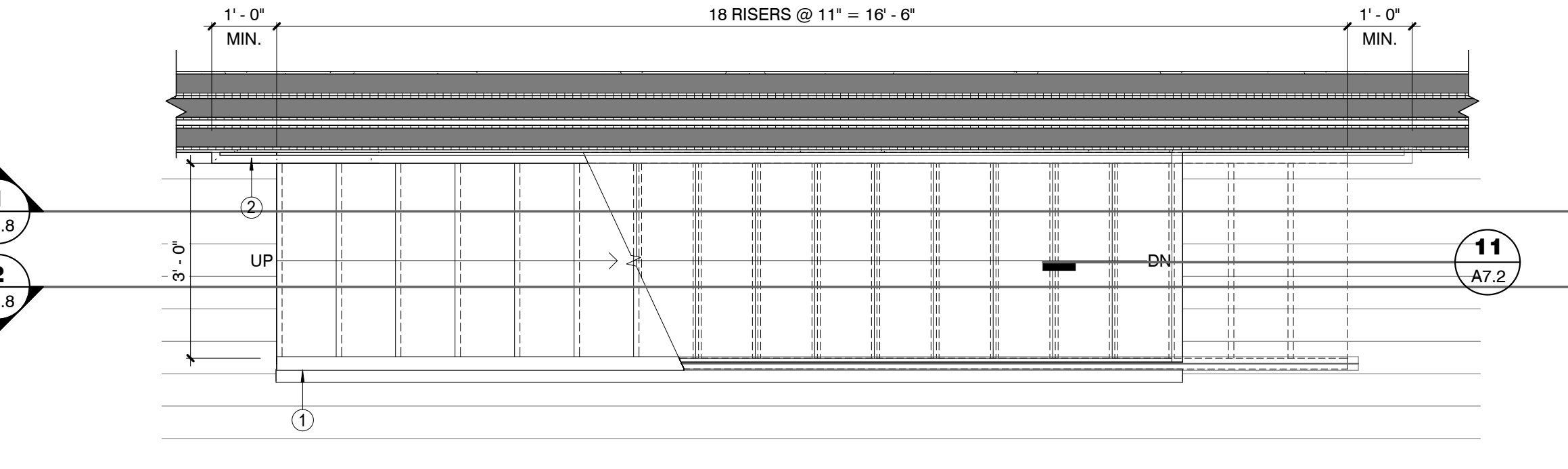
5 UNITS 2-5 - ENLARGED STAIR PLAN - 1st FLOOR
1/2" = 1'-0"



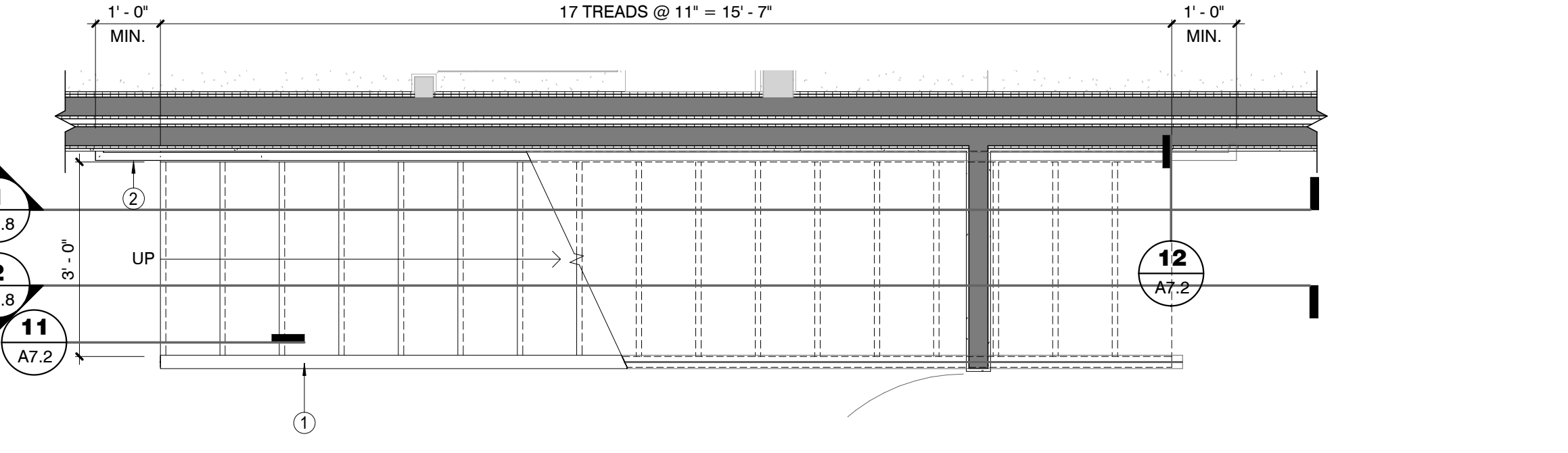
4 UNITS 1 & 6 - ENLARGED STAIR PLAN - ROOF DECK
1/2" = 1'-0"



3 UNITS 1 & 6 - ENLARGED STAIR PLAN - 3rd FLOOR
1/2" = 1'-0"



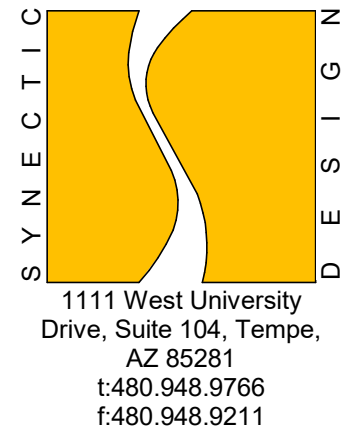
2 UNITS 1 & 6 - ENLARGED STAIR PLAN - 2nd FLOOR
1/2" = 1'-0"



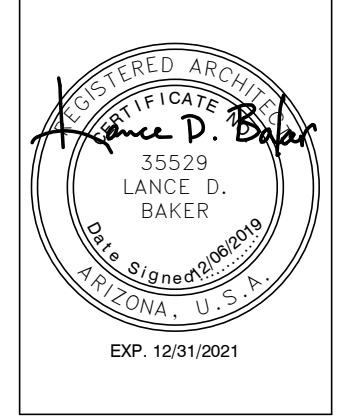
1 UNITS 1 & 6 - ENLARGED STAIR PLAN - 1st FLOOR
1/2" = 1'-0"

- KEYNOTES**
- BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
 - HAND RAIL AT 36" MIN. A.F.F. REFER TO 3/A3.10 FOR REQUIREMENTS

- BUILDING SECTION GENERAL NOTES**
- REFER TO FLOOR PLAN AND ROOF PLAN FOR ADDITIONAL INFORMATION.
 - RISER HEIGHT NOT TO EXCEED 7 3/4". MEASURED VERTICALLY BETWEEN LEADING EDGES OF ADJACENT TREADS.
 - TREADS NOT TO BE LESS THAN 10" IN DEPTH.
 - THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY, THE LENGTH OF THE LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE FLIGHT SERVED.
 - HANDRAIL TO BE ON AT LEAST ONE SIDE OF A CONTINUOUS STAIR AND HEIGHT TO NOT BE LESS THAN 34 INCHES OR GREATER THAN 38 INCHES.
 - STAIRWAYS SHALL BE ILLUMINATED IN ACCORDANCE TO SECTION R303.7.
 - GUARD/ HANDRAIL POSTS SHALL BE SPACED SO THAT A 4 INCH SPHERE CANNOT PASS THROUGH.
 - STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.



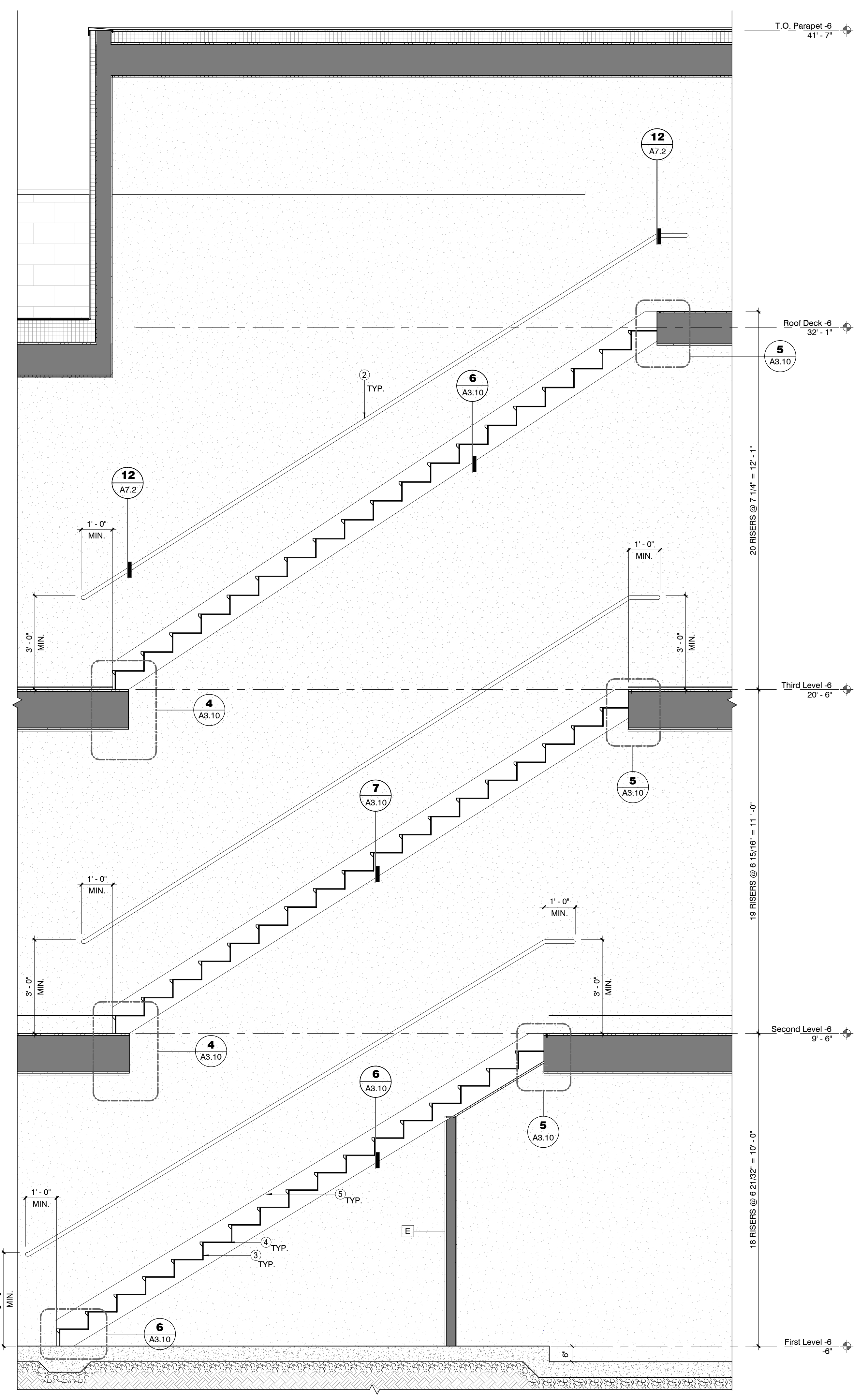
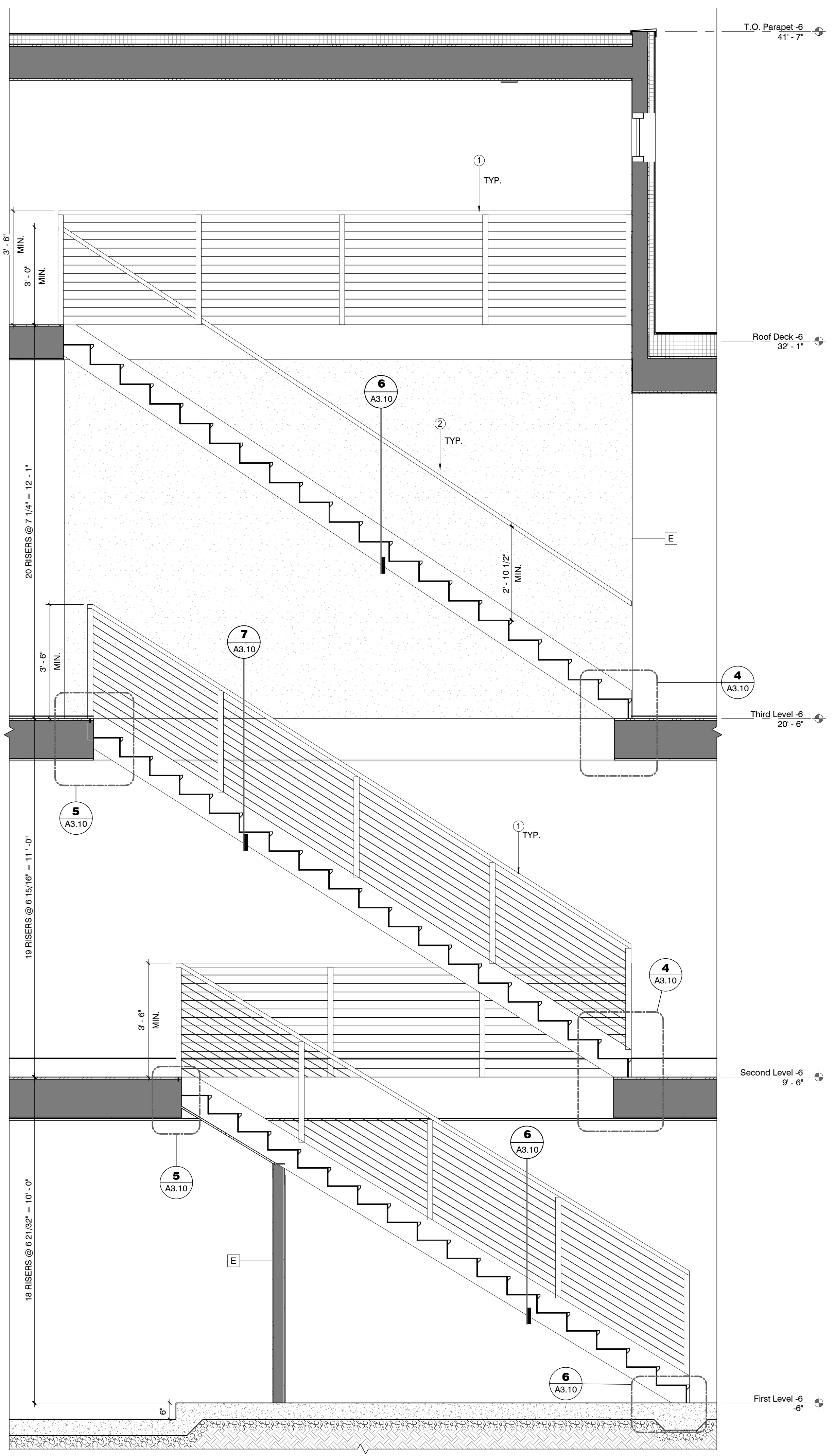
FLEETWOOD 6 TOWNHOMES
SINGLE FAMILY/ ATTACHED DEVELOPMENT
 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251



NO.	REVISIONS

Phase: CD
 Drawn By: RFD
 Reviewed By: LDB
 SDI Project No: 3876
 Date: 12/06/2019

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KEYNOTES

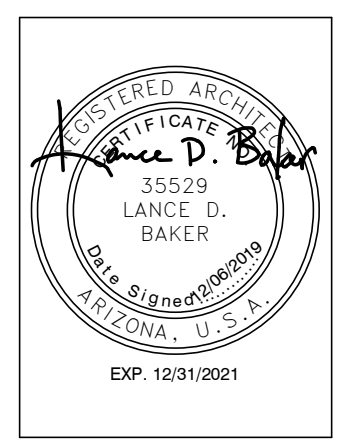
- 1 BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
- 2 HAND RAIL AT 36" MIN. A.F.F. REFER TO 3/A3.10 FOR REQUIREMENTS
- 3 WOODEN STAIR RISER
- 4 WOODEN STAIR TREAD
- 5 STAIR STRINGER

BUILDING SECTION GENERAL NOTES

- A. REFER TO FLOOR PLAN AND ROOF PLAN FOR ADDITIONAL INFORMATION.
- B. RISER HEIGHT NOT TO EXCEED 7 3/4". MEASURED VERTICALLY BETWEEN LEADING EDGES OF ADJACENT TREADS.
- C. TREADS NOT TO BE LESS THAN 10" IN DEPTH.
- D. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY, THE LENGTH OF THE LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE FLIGHT SERVED.
- E. HANDRAIL TO BE ON AT LEAST ONE SIDE OF A CONTINUOUS STAIR AND HEIGHT TO NOT BE LESS THAN 34 INCHES OR GREATER THAN 38 INCHES.
- F. STAIRWAYS SHALL BE ILLUMINATED IN ACCORDANCE TO SECTION R303.7.
- G. GUARD/HANDRAIL POSTS SHALL BE SPACED SO THAT A 4 INCH SPHERE CANNOT PASS THROUGH.
- H. STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.

SYNECTIC DESIGN
 1111 West University Drive, Suite 104, Tempe, AZ 85281
 480.948.9766
 480.948.9211

**FLEETWOOD 6 TOWNHOMES
 SINGLE FAMILY/ ATTACHED DEVELOPMENT**
 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

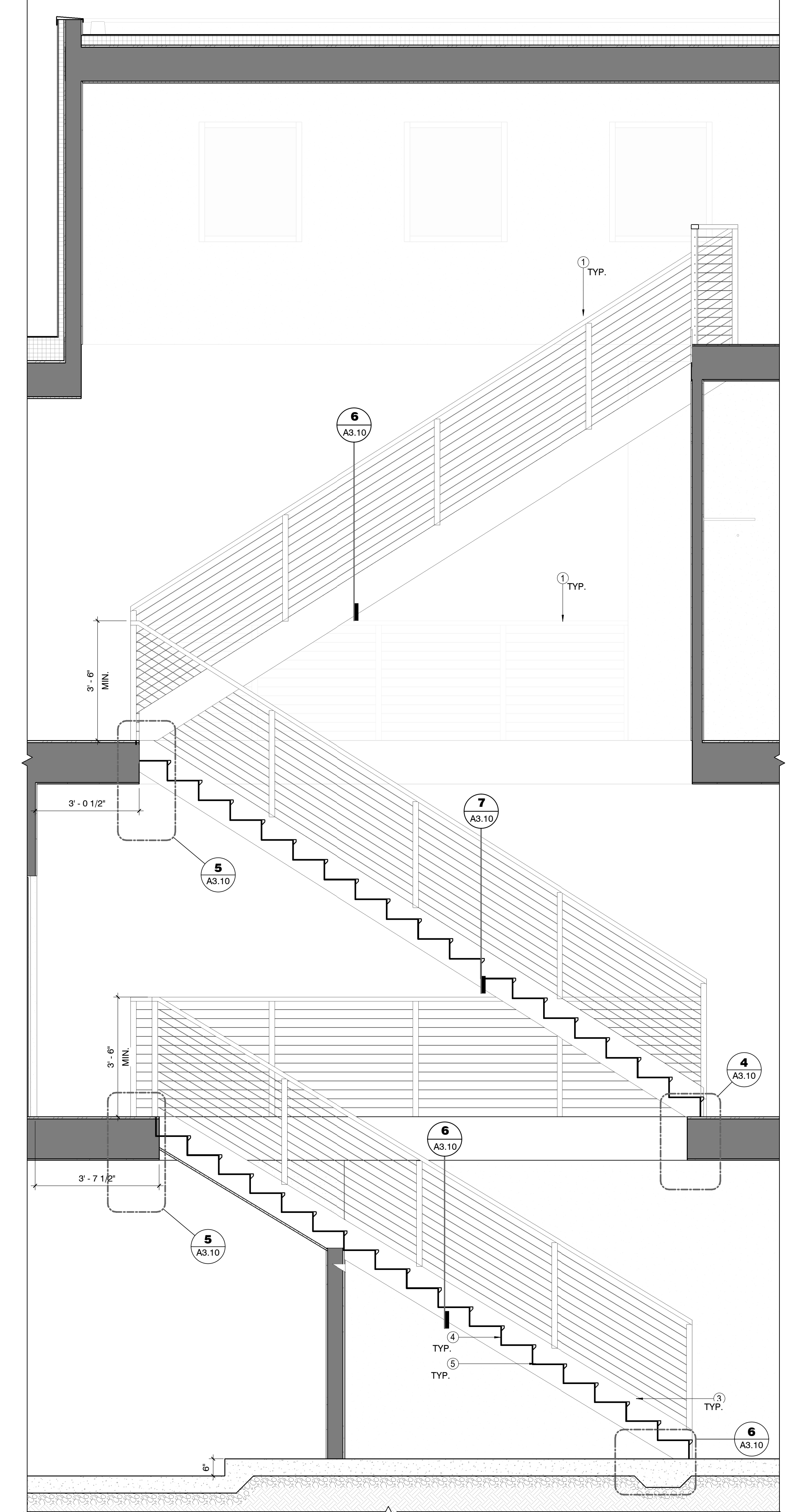


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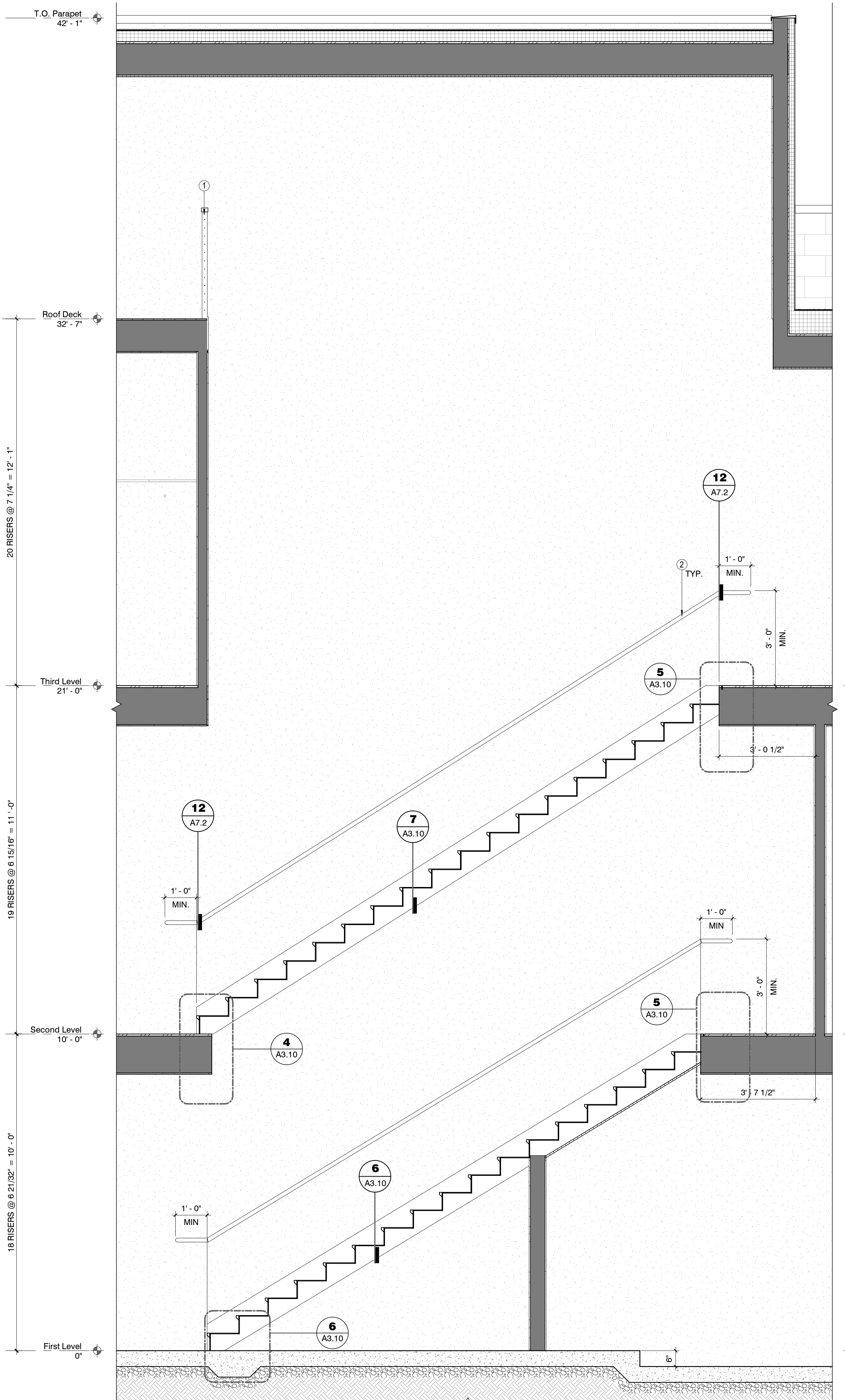
Phase: CD
 Drawn By: RFD
 Reviewed By: LDB
 SDI Project No: 3876
 Date: 12/06/2019

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 UNITS 1 & 6 STAIR SECTIONS

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② UNITS 2-5 - STAIR SECTION
 1/2" = 1'-0"



① UNITS 2-5 - STAIR SECTION
 1/2" = 1'-0"

KEYNOTES

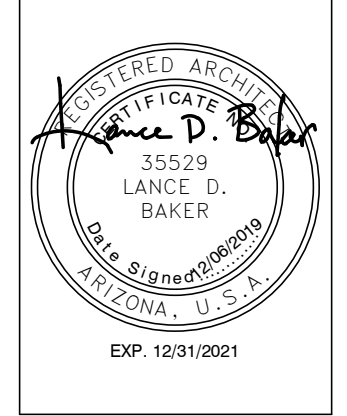
- 1 BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
- 2 HAND RAIL AT 36" MIN. A.F.F. REFER TO 3/A3.10 FOR REQUIREMENTS
- 3 STAIR STRINGER
- 4 WOODEN STAIR RISER
- 5 WOODEN STAIR TREAD

BUILDING SECTION GENERAL NOTES

- A. REFER TO FLOOR PLAN AND ROOF PLAN FOR ADDITIONAL INFORMATION.
- B. RISER HEIGHT NOT TO EXCEED 7 3/4". MEASURED VERTICALLY BETWEEN LEADING EDGES OF ADJACENT TREADS.
- C. TREADS NOT TO BE LESS THAN 10" IN DEPTH.
- D. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY, THE LENGTH OF THE LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE FLIGHT SERVED.
- E. HANDRAIL TO BE ON AT LEAST ONE SIDE OF A CONTINUOUS STAIR AND HEIGHT TO NOT BE LESS THAN 34 INCHES OR GREATER THAN 38 INCHES.
- F. STAIRWAYS SHALL BE ILLUMINATED IN ACCORDANCE TO R303.7.
- G. GUARD/HANDRAIL POSTS SHALL BE SPACED SO THAT A 4 INCH SPHERE CANNOT PASS THROUGH.
- H. STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.

SYNECTIC DESIGN
 1111 West University Drive, Suite 104, Tempe, AZ 85281
 480.948.9766
 480.948.9211

**FLEETWOOD 6 TOWNHOMES
 SINGLE FAMILY/ ATTACHED DEVELOPMENT**
 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

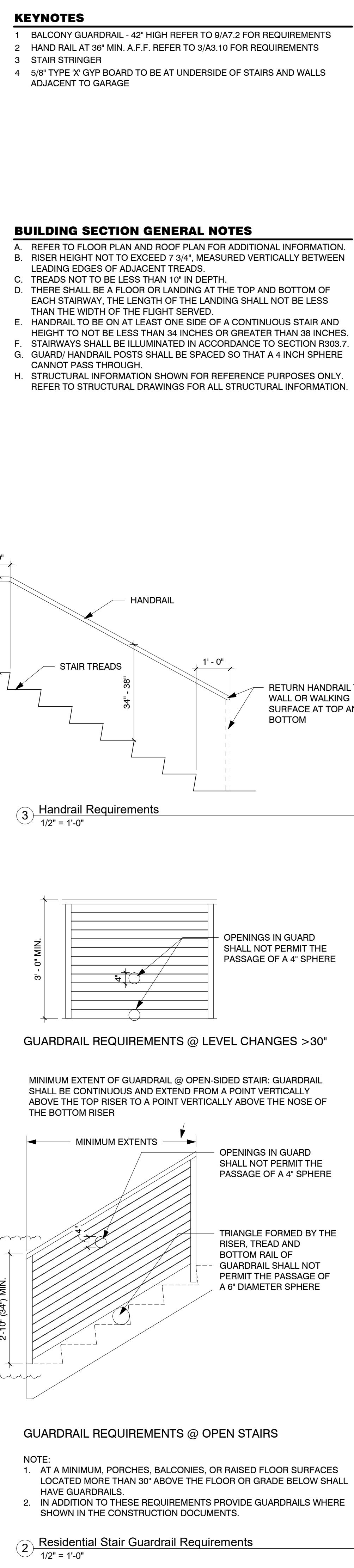
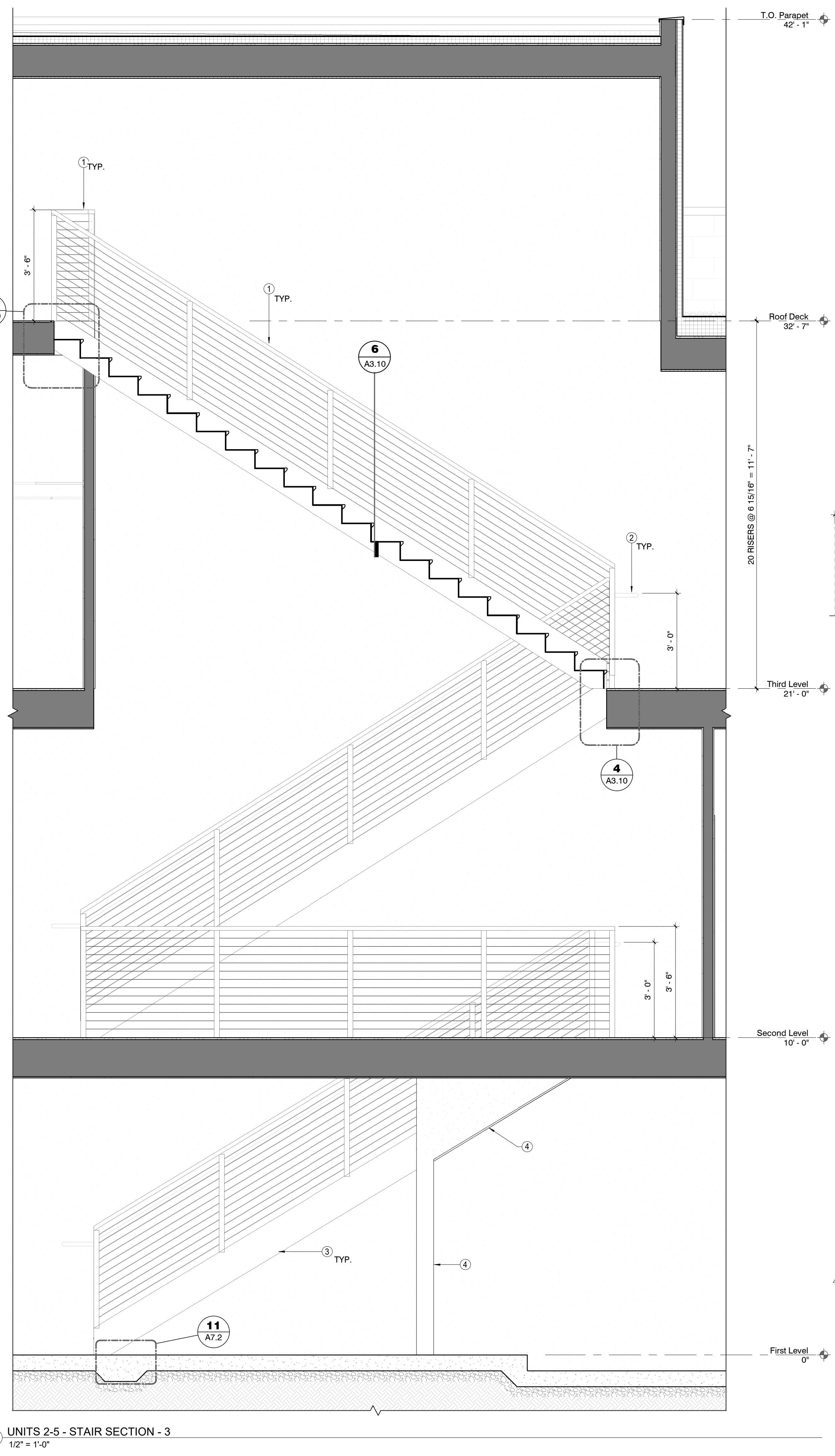
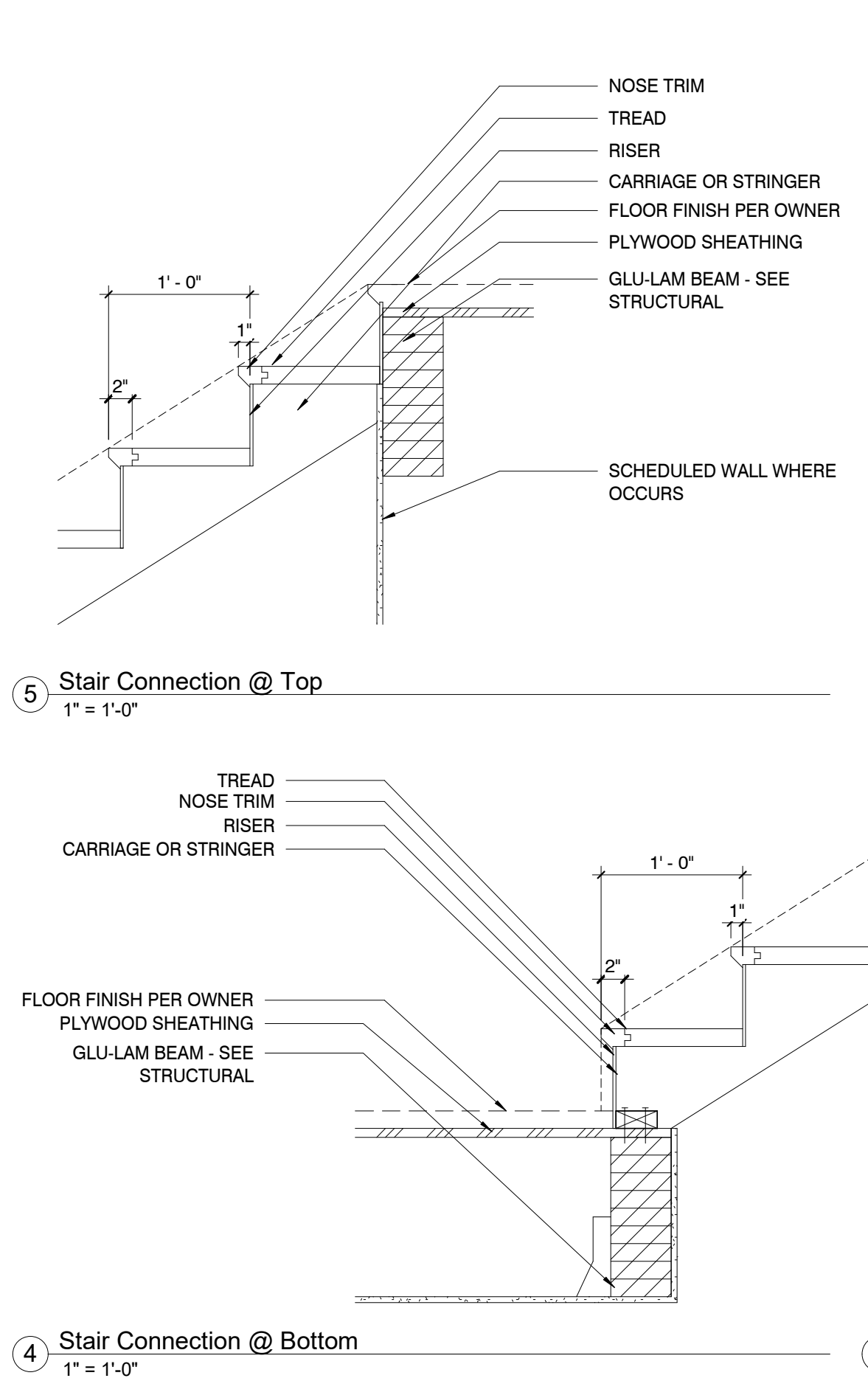
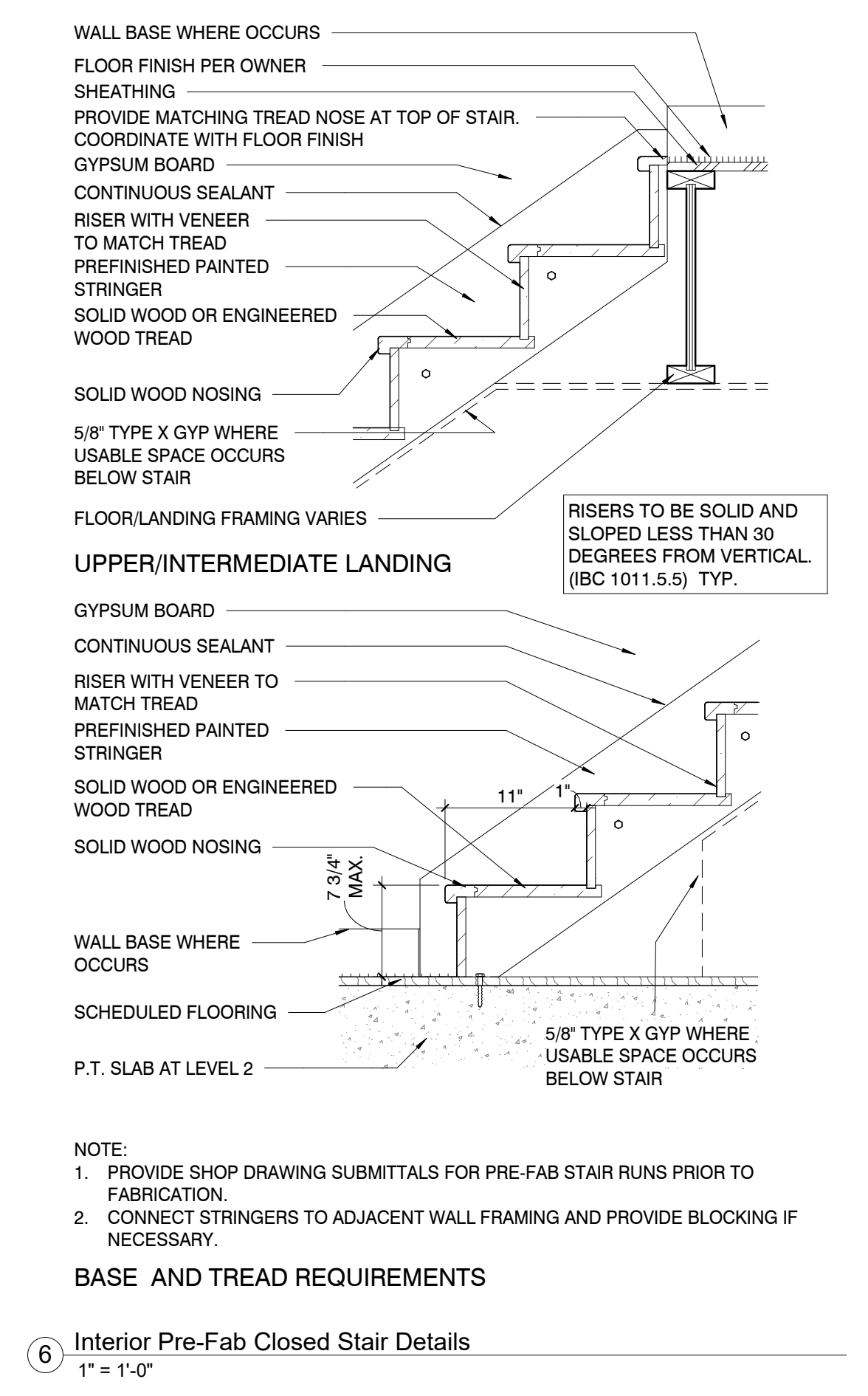
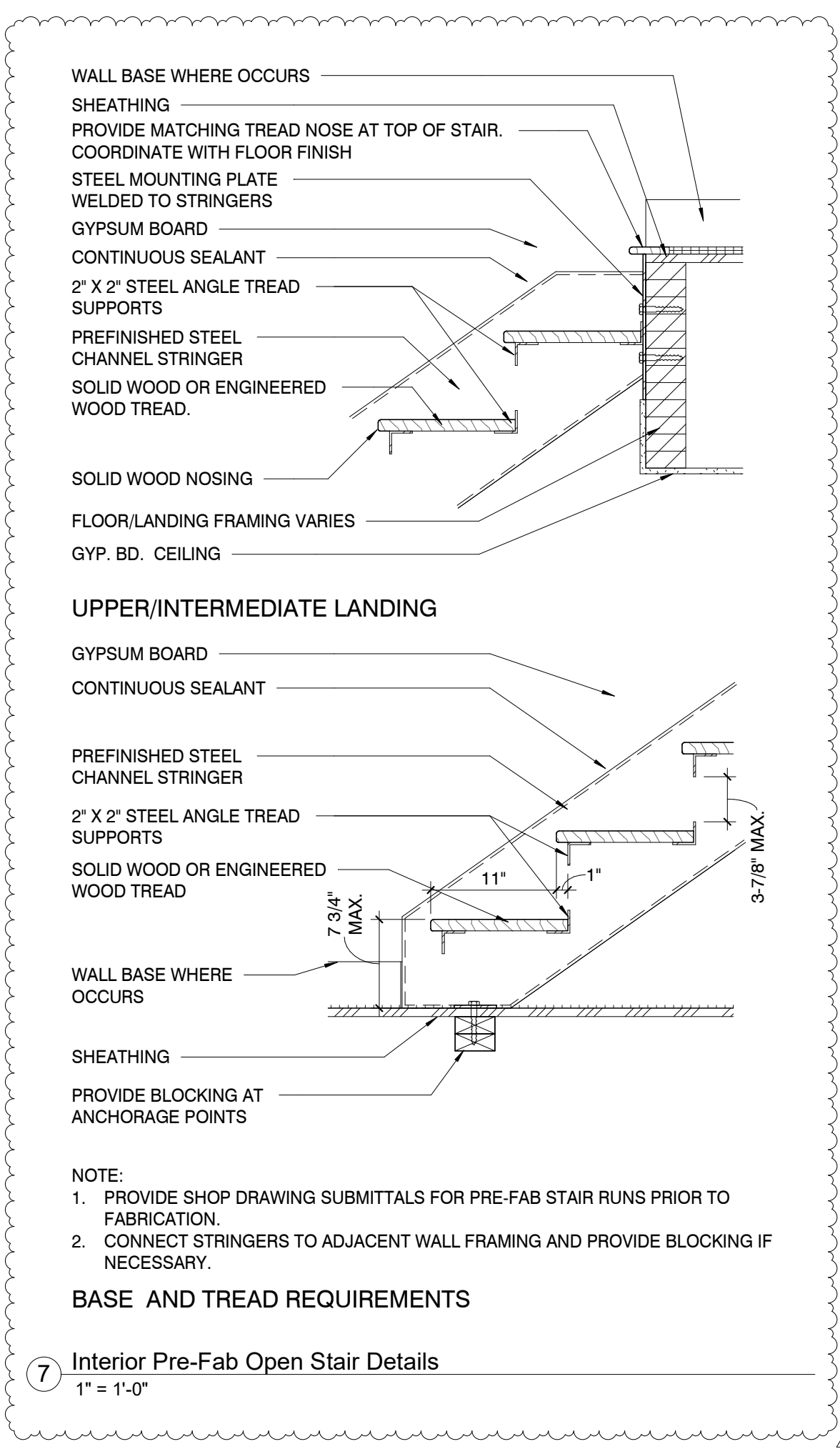


NO.	REVISIONS

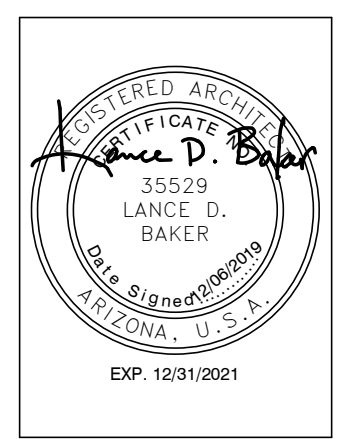
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 Drawn By: Author
 Reviewed By: Checker
 SDI Project No: 3876
 Date: 12/06/2019

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 UNITS 2-5 STAIR SECTIONS

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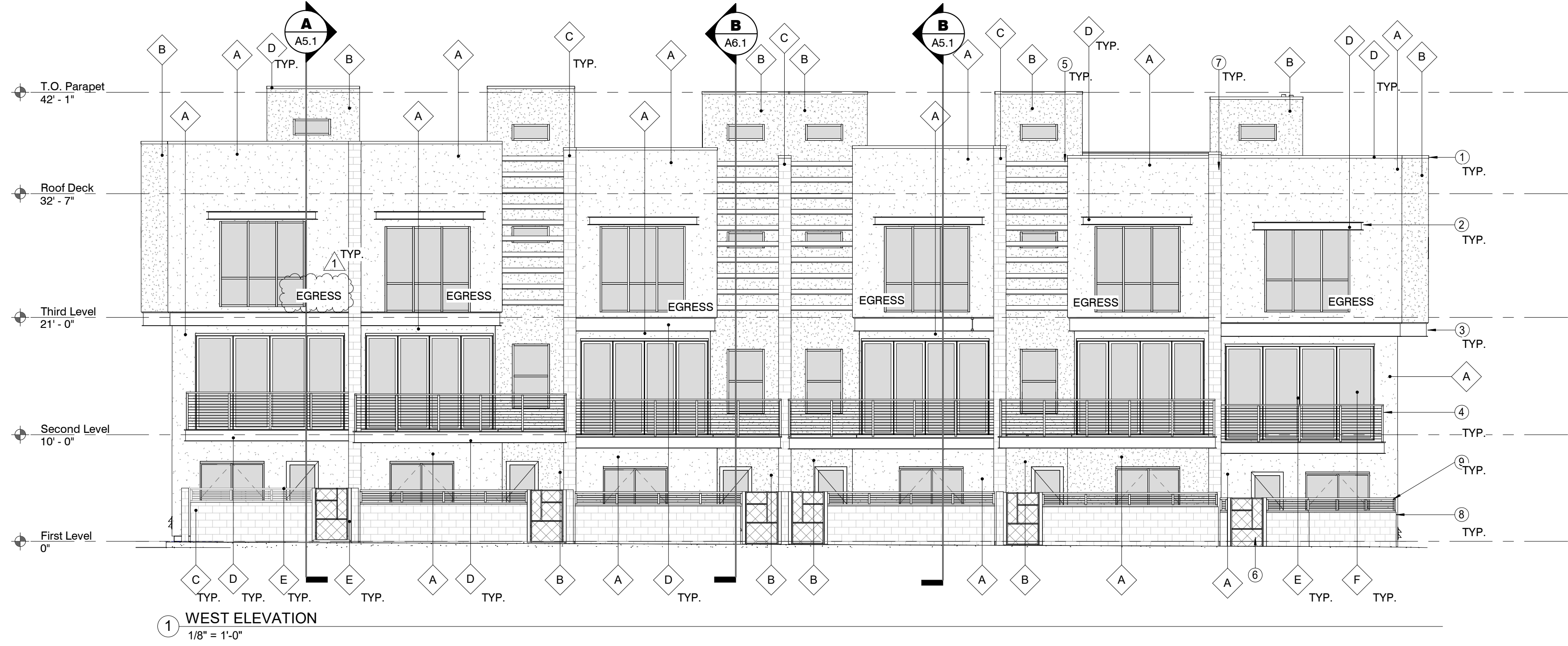


FLEETWOOD 6 TOWNHOMES
SINGLE FAMILY/ ATTACHED DEVELOPMENT
 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

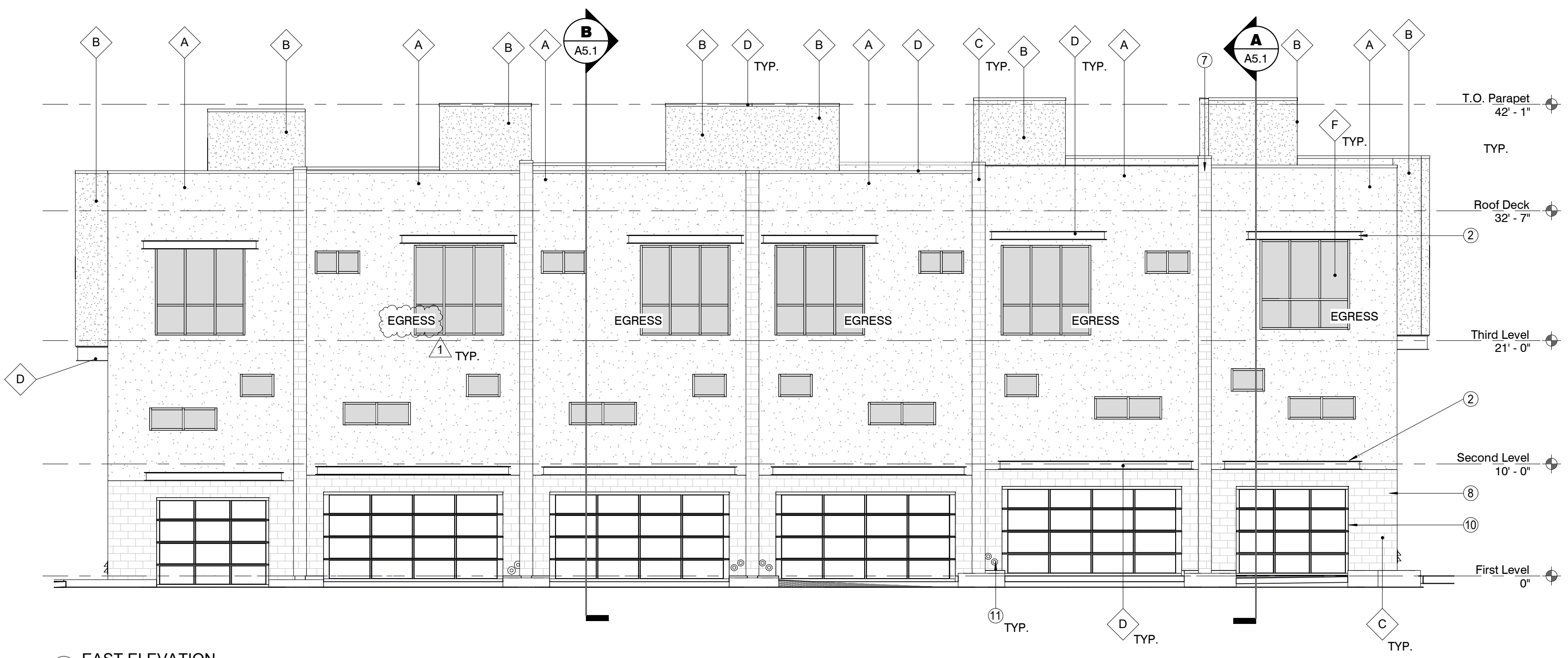


REVISIONS		
1	12/06/19	1st City Comments
2	12/06/19	Owner Revisions

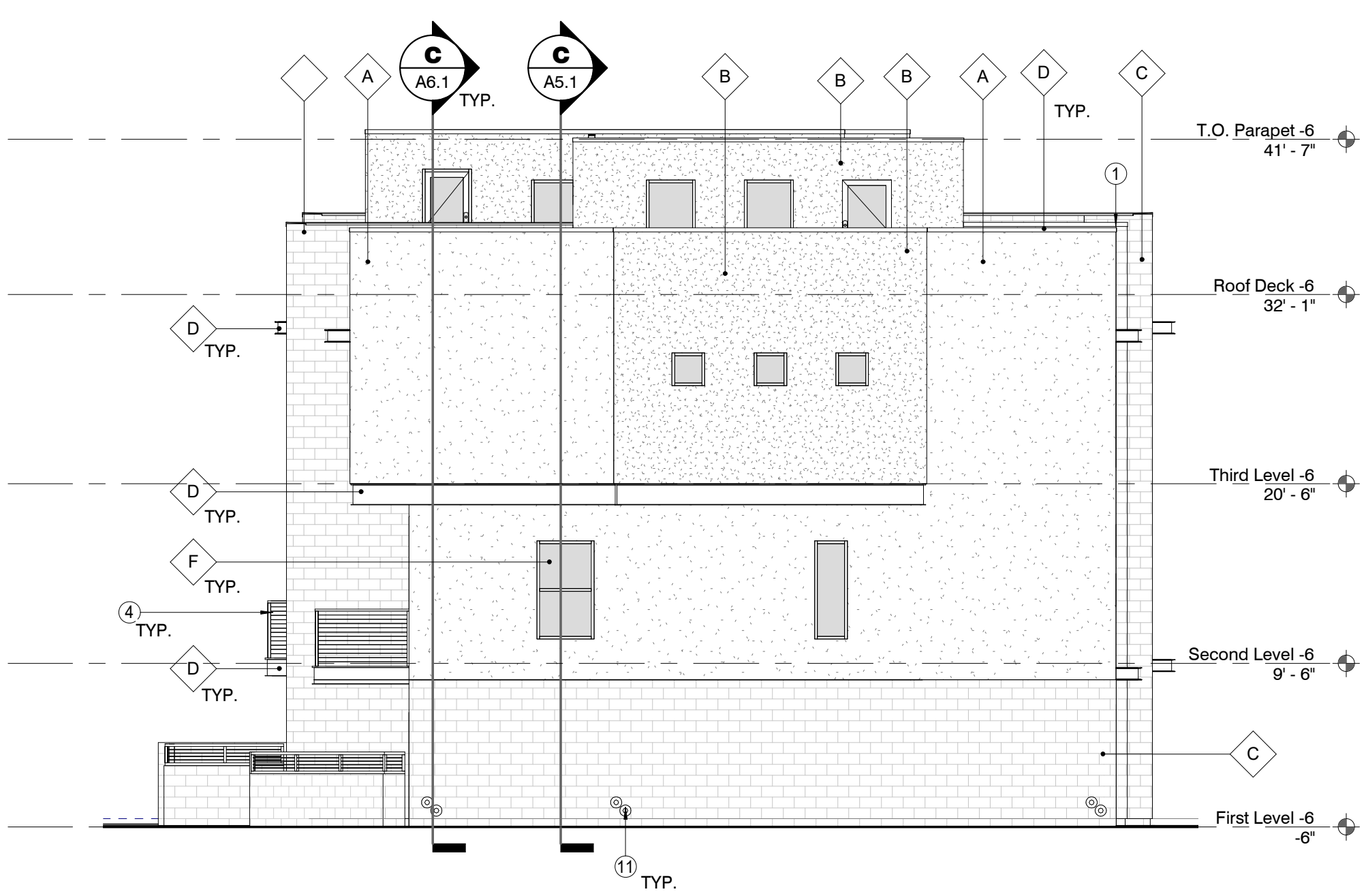
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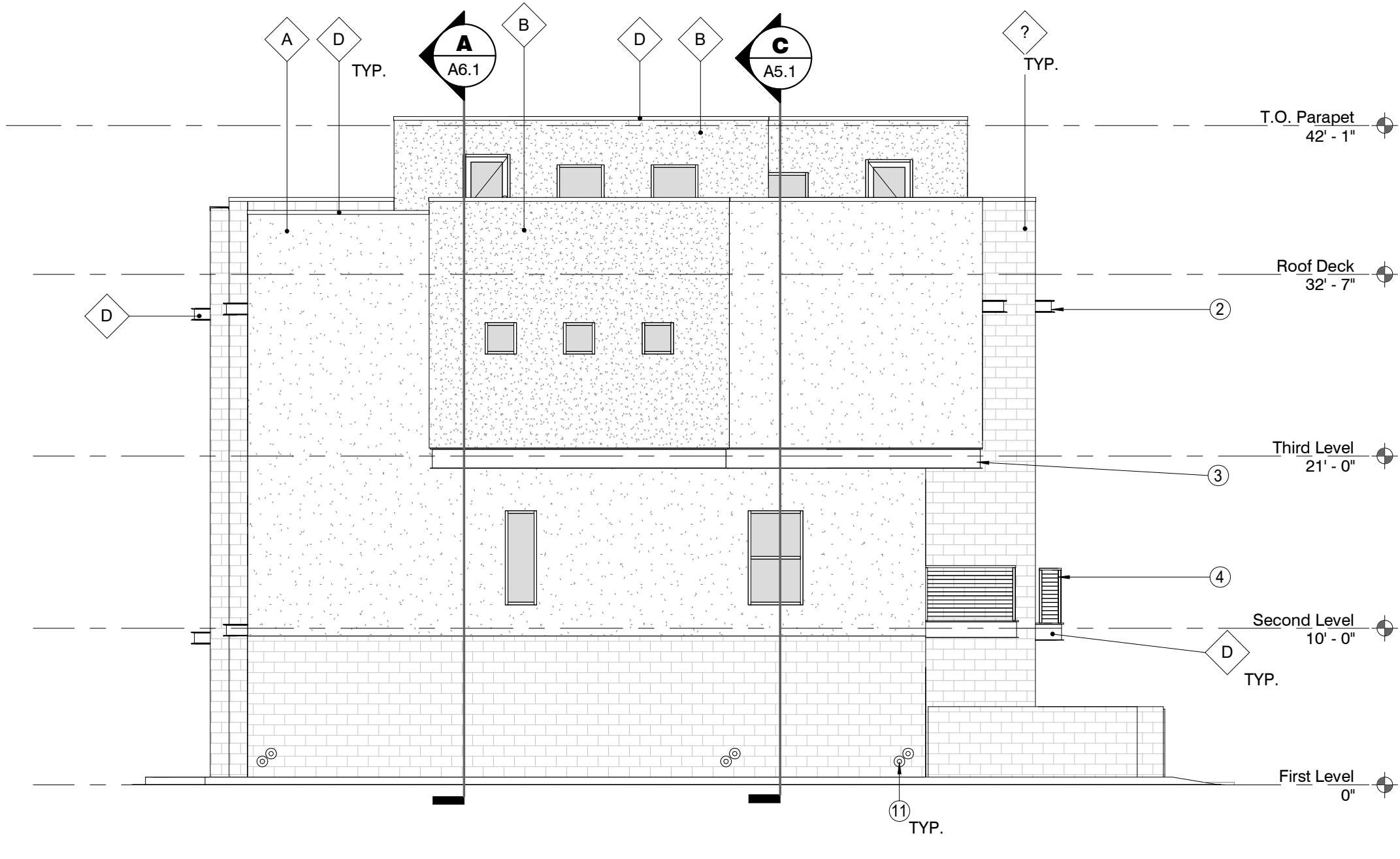
1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



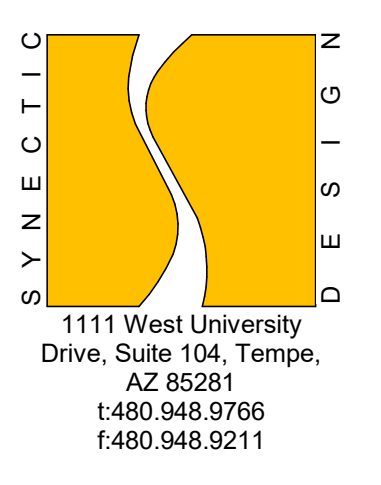
4 NORTH ELEVATION
1/8" = 1'-0"

- KEYNOTES**
- 1 SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1
 - 2 METAL FASCIA AT AWNING, PAINTED
 - 3 METAL FASCIA AT SOFFIT, PAINTED
 - 4 BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
 - 5 METAL SHADE LOUVERS, PAINTED - 6/A7.3 and 5/A7.3
 - 6 METAL GATE WITH DECORATIVE WIRE MESH SCREENS, PAINTED
 - 7 5/8" TYPE 'X' GYP BOARD TO BE AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE
 - 8 EXPOSED GROUND FACE CMU VENEER
 - 9 PARTIAL VIEW FENCE ON TOP OF CMU WALL - SEE DETAIL 15/A7.1
 - 10 METAL AND FROSTED GLASS SECTIONAL OVERHEAD GARAGE DOORS
 - 11 ROOF DRAIN OUTLET

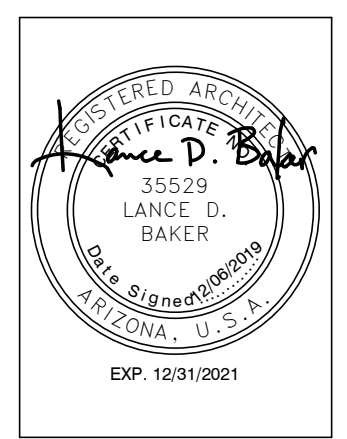
EXTERIOR FINISH LEGEND

DESCRIPTION	PAINTED STUCCO
A	MFR BENJAMIN MOORE FINISH SMOOTH COLOR DISTANT GRAY LRV 90
B	MFR BENJAMIN MOORE FINISH SMOOTH COLOR YARMOUTH BLUE LRV 52
C	CONCRETE MASONRY MFR TRENDSTONE STYLE GROUND FACE COLOR HUNTINGTON GRAY
D	METAL MFR TO BE DETERMINED COLOR SMOKE GRAY
E	ANODIZED ALUMINUM MFR TO BE DETERMINED COLOR CLEAR
F	GLASS STYLE LOW-E DUAL PANE COLOR GRAY TINTED

- EXTERIOR ELEVATION GENERAL NOTES**
- A REFER TO CIVIL FOR FINISHED PAD AND FINISHED FLOOR ELEVATIONS
 - B REFER TO WINDOW AND DOOR SCHEDULES FOR WINDOW STYLE, SIZE AND HEIGHT
 - C ALL PROPOSED MECHANICAL UNITS ARE SCREENED BY PARAPET WALLS
 - D REFER TO FINISH SCHEDULE FOR ALL FINISH MATERIALS AND COLORS



**FLEETWOOD 6 TOWNHOMES
 SINGLE FAMILY/ ATTACHED DEVELOPMENT**
 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

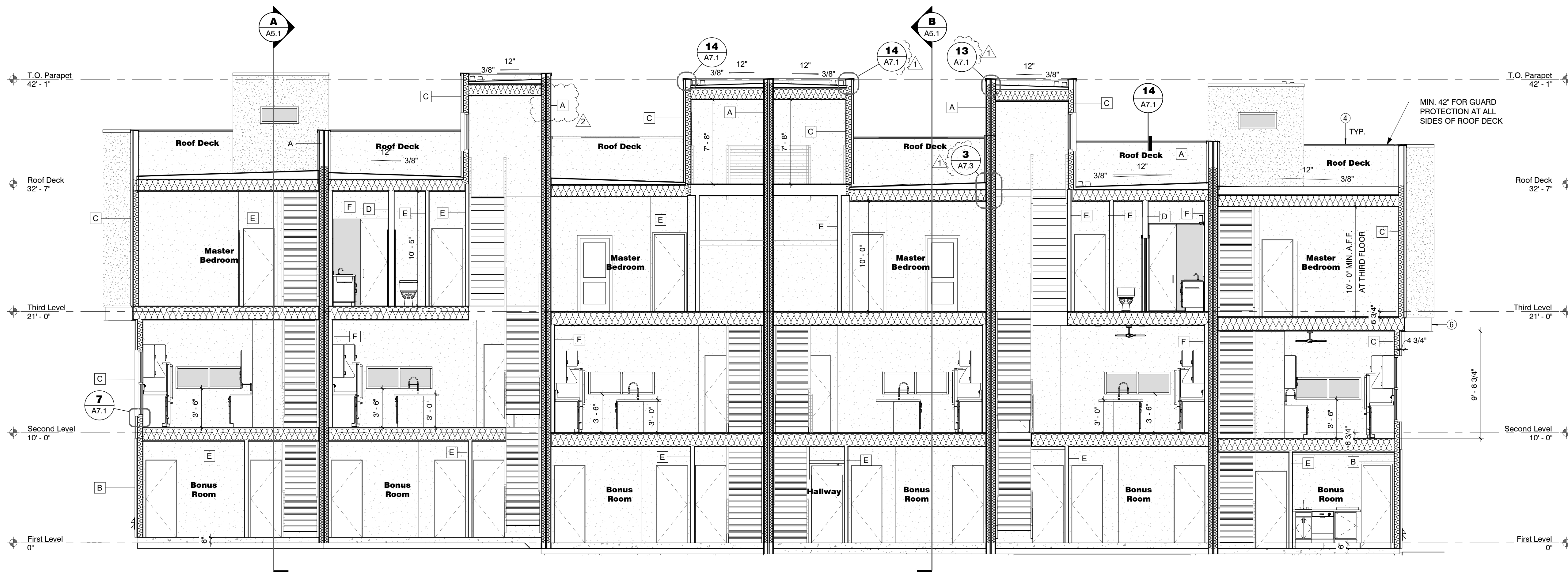


REVISIONS

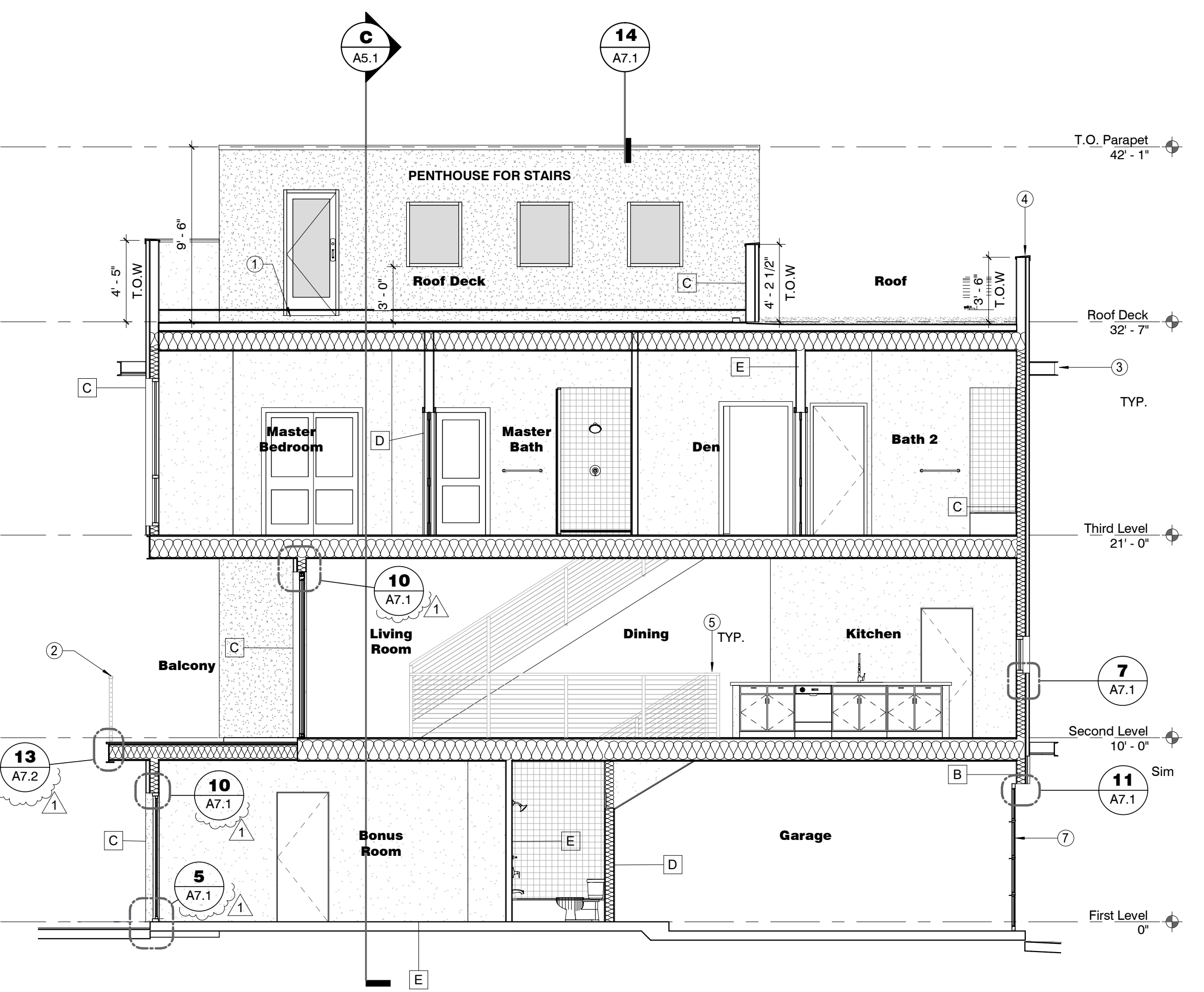
NO.	DATE	DESCRIPTION
1	12/06/19	1st City Comments

Phase: CD
 Drawn By: Author
 Reviewed By: Checker
 SDI Project No: 3876
 Date: 12/06/2019

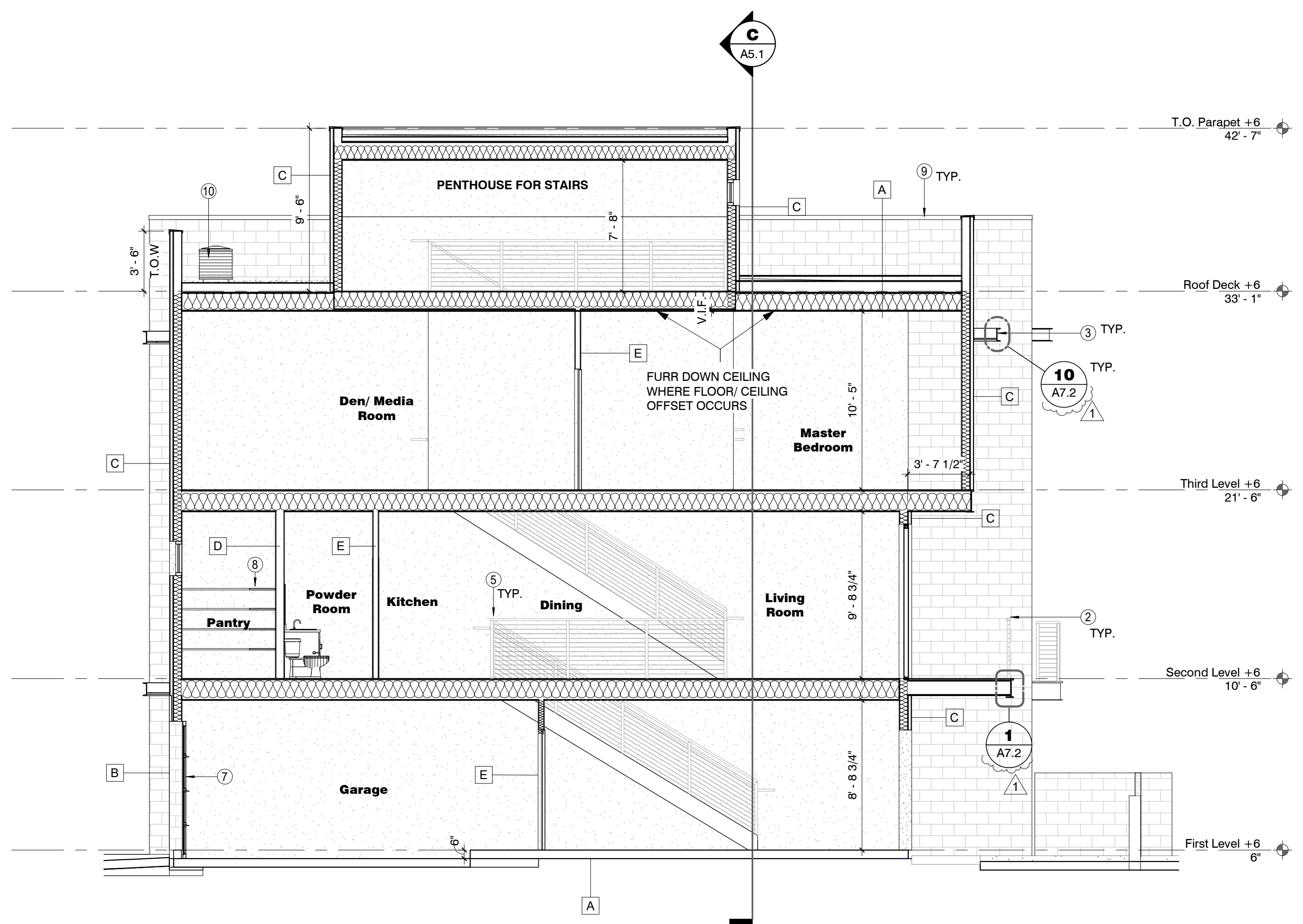
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C SECTION C
3/16" = 1'-0"



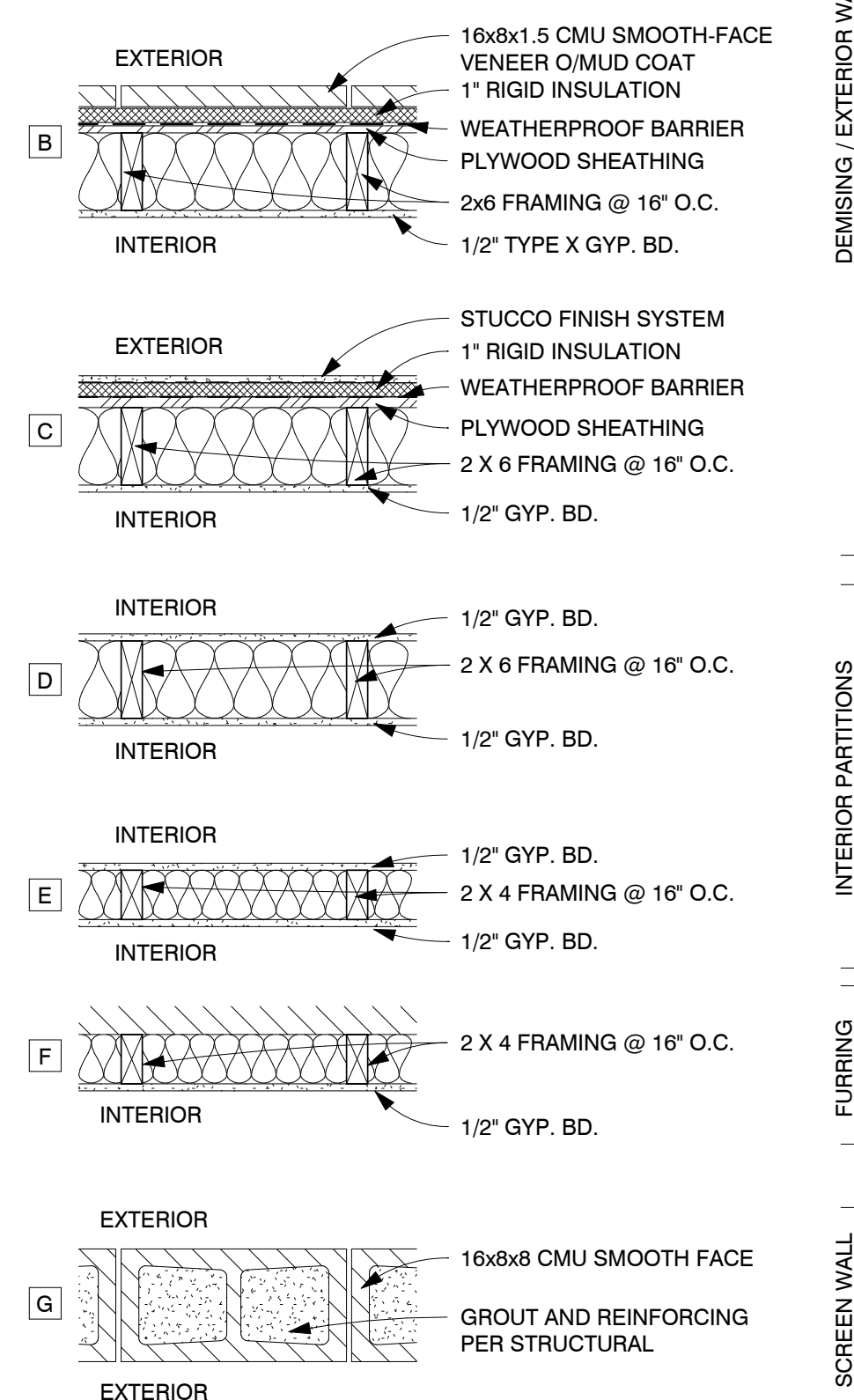
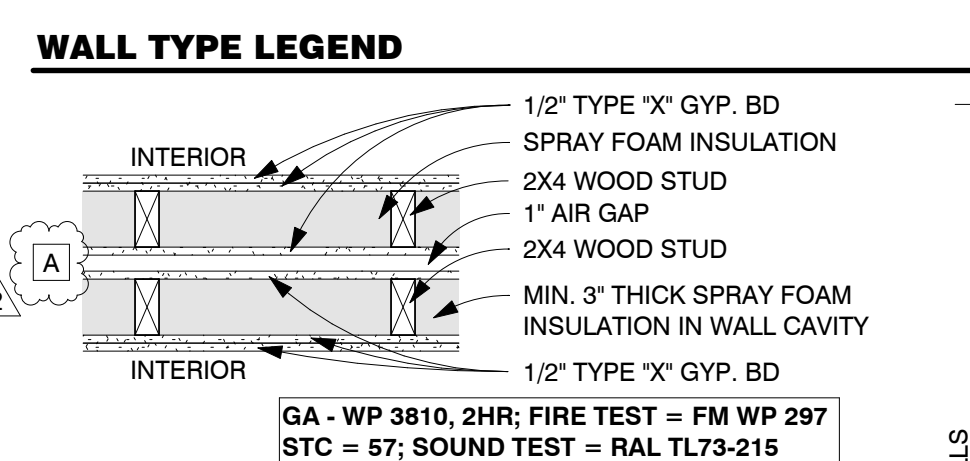
B SECTION B
3/16" = 1'-0"



A SECTION A
3/16" = 1'-0"

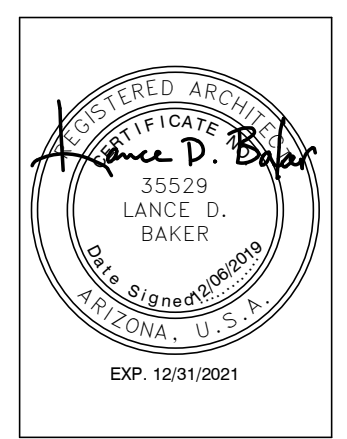
- KEYNOTES**
- 4" HIGH THRESHOLD BETWEEN ROOF DECK AND PENTHOUSE
 - BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
 - METAL FASCIA AT AWNING, PAINTED
 - SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1
 - INTERIOR STAIR GUARDRAIL 42" A.F.F. MIN REFER TO 2/A3.10 FOR REQUIREMENTS
 - METAL FASCIA AT SOFFIT, PAINTED
 - METAL AND FROSTED GLASS SECTIONAL OVERHEAD GARAGE DOORS
 - PANTRY SHELVING
 - SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1
 - MECHANICAL UNIT, TYP. TO BE FULLY SCREENED BY PARAPET

- BUILDING SECTION GENERAL NOTES**
- REFER TO FLOOR PLAN AND ROOF PLAN FOR ADDITIONAL INFORMATION.
 - RISER HEIGHT NOT TO EXCEED 7 3/4". MEASURED VERTICALLY BETWEEN LEADING EDGES OF ADJACENT TREADS.
 - TREADS NOT TO BE LESS THAN 10" IN DEPTH.
 - THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY, THE LENGTH OF THE LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE FLIGHT SERVED.
 - HANDRAIL TO BE ON AT LEAST ONE SIDE OF A CONTINUOUS STAIR AND HEIGHT TO NOT BE LESS THAN 34 INCHES OR GREATER THAN 38 INCHES.
 - STAIRWAYS SHALL BE ILLUMINATED IN ACCORDANCE TO SECTION R303.7.
 - GUARD/HANDRAIL POSTS SHALL BE SPACED SO THAT A 4 INCH SPHERE CANNOT PASS THROUGH.
 - STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.



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 6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

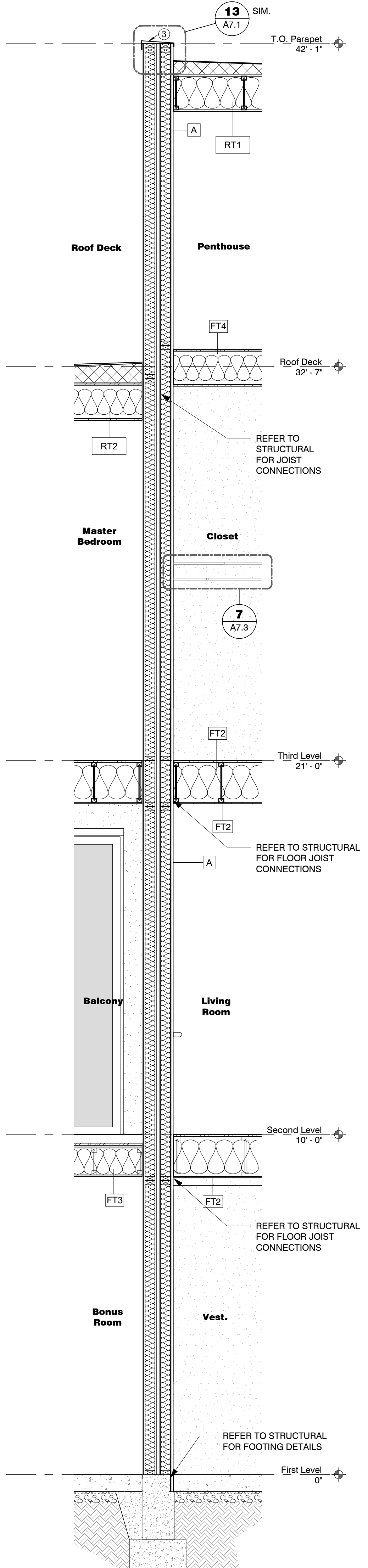


REVISIONS	
1	12/06/19 1st City Comments
2	12/06/19 Owner Revisions

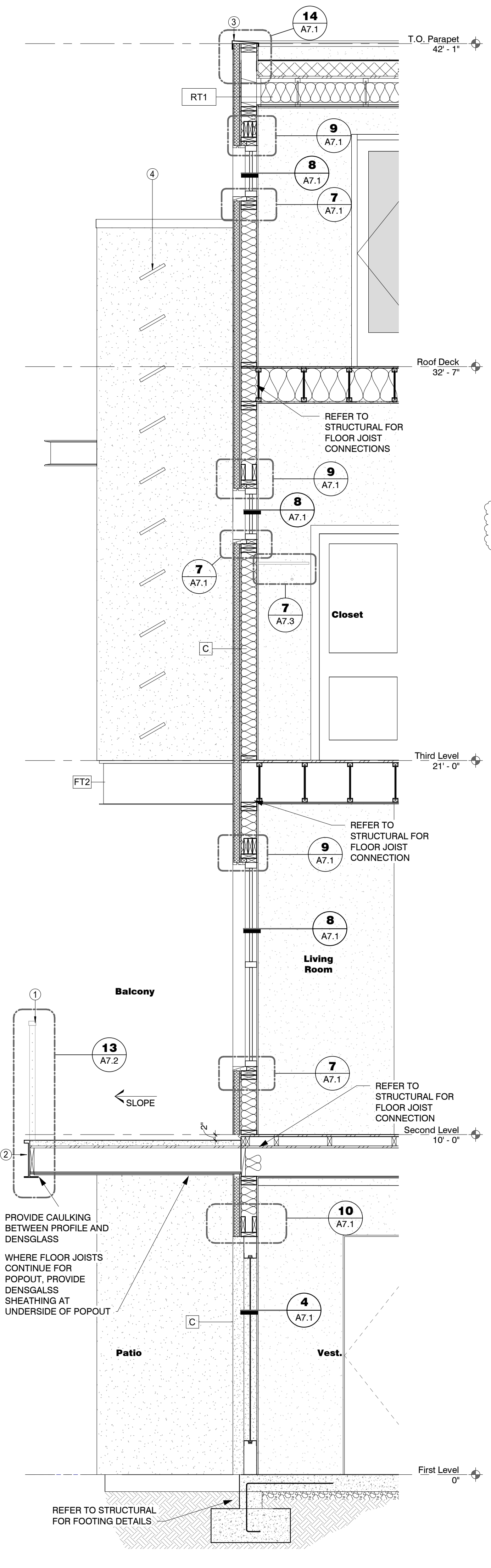
Phase: CD
 Drawn By: NYK
 Reviewed By: LDB
 SDI Project No: 3876
 Date: 12/06/2019

Sheet:
A5.1
 BUILDING SECTIONS

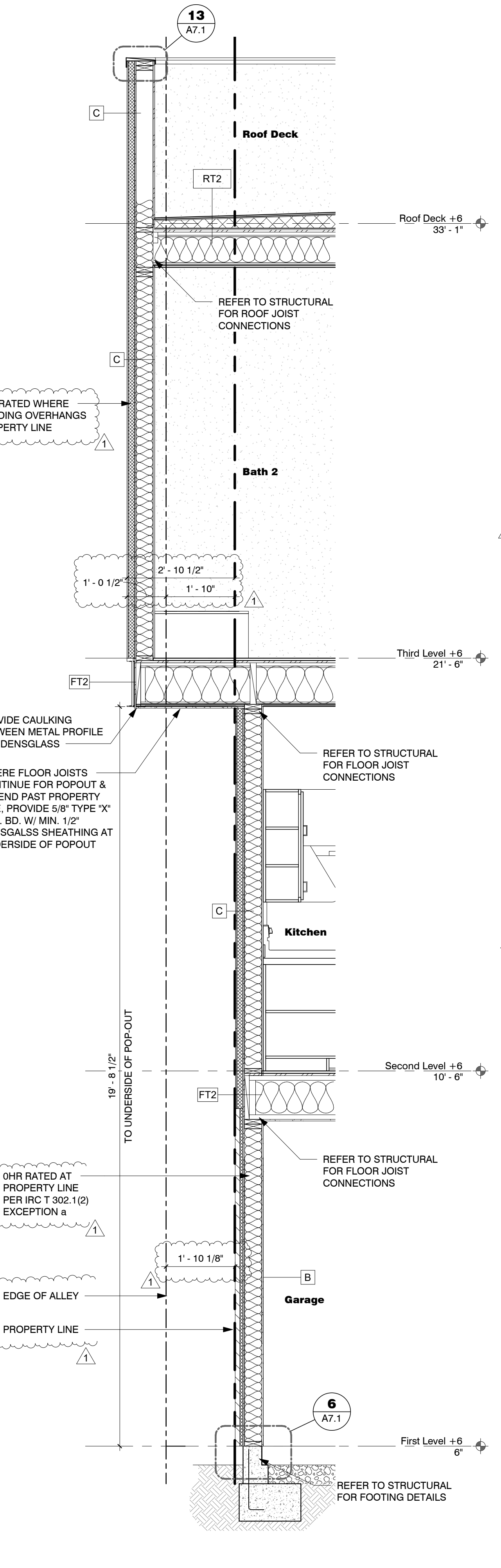
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C WALL SECTION C
1/2" = 1'-0"

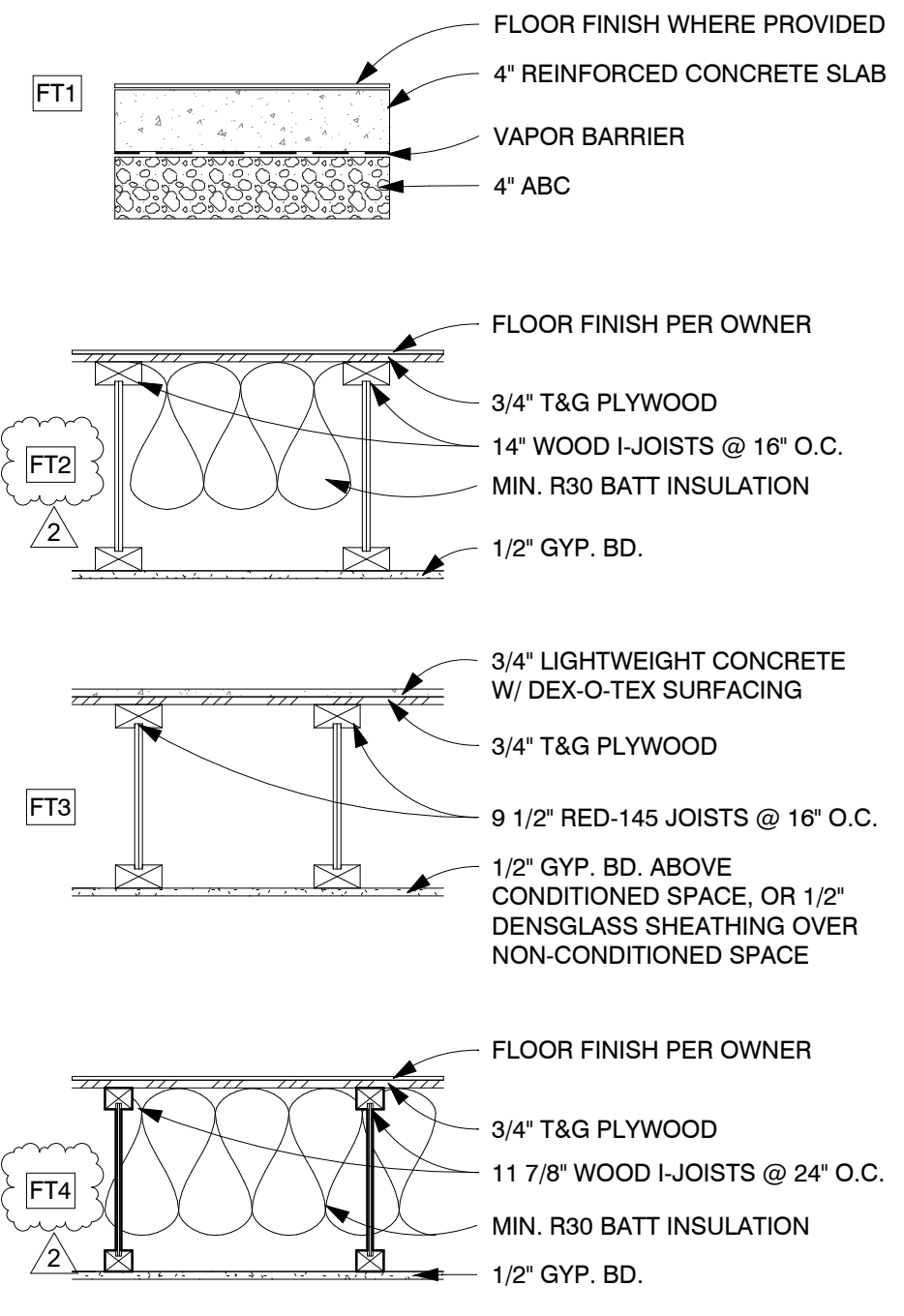


B WALL SECTION B
1/2" = 1'-0"



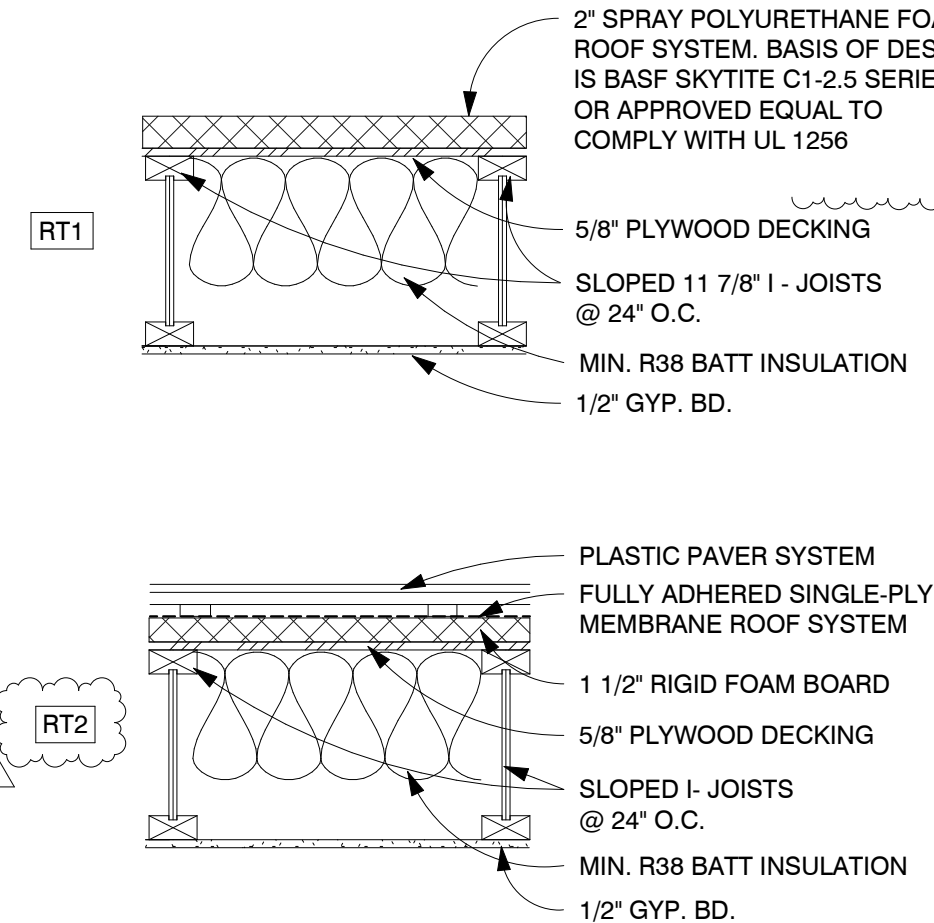
A WALL SECTION A
1/2" = 1'-0"

FLOOR TYPE LEGEND



- NOTES:**
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS
 - PROVIDE THERMAL INSULATION AT ALL EXTERIOR WALLS CONTINUOUS TO UNDERSIDE OF STRUCTURE.
 - PROVIDE MOISTURE RESISTANT GYP. BD. AT ALL WET AND MOISTURE PRONE AREAS, TYP.
 - REFER TO IECC SECTION R402 COMPLIANCE TABLES, FOR REQUIRED INSULATION VALUES AND ADDITIONAL INFORMATION
 - PROVIDE BATT INSULATION IN FLOOR / CEILING CONDITIONS WHERE NON-CONDITIONED SPACE IS ABOVE OR BELOW.
 - FINAL FINISH SELECTION PER OWNER SPECIFICATIONS

ROOF TYPE LEGEND



- NOTES:**
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS
 - REFER TO IECC SECTION R402 COMPLIANCE TABLES, FOR REQUIRED INSULATION VALUES AND ADDITIONAL INFORMATION
 - PROVIDE BATT INSULATION OF CLASS 'A' FIRE RATING WITH FLAME SPREAD INDEX OF 0-25 AND SMOKE DEVELOPED INDEX OF 0-450
 - BASIS OF DESIGN FOR PLASTIC PAVER SYSTEM IS 12"x12" RUGGED GRIP-LOC TILES, COLOR "GRAPHITE" OR APPROVED EQUAL. FINAL APPROVAL PER OWNER.

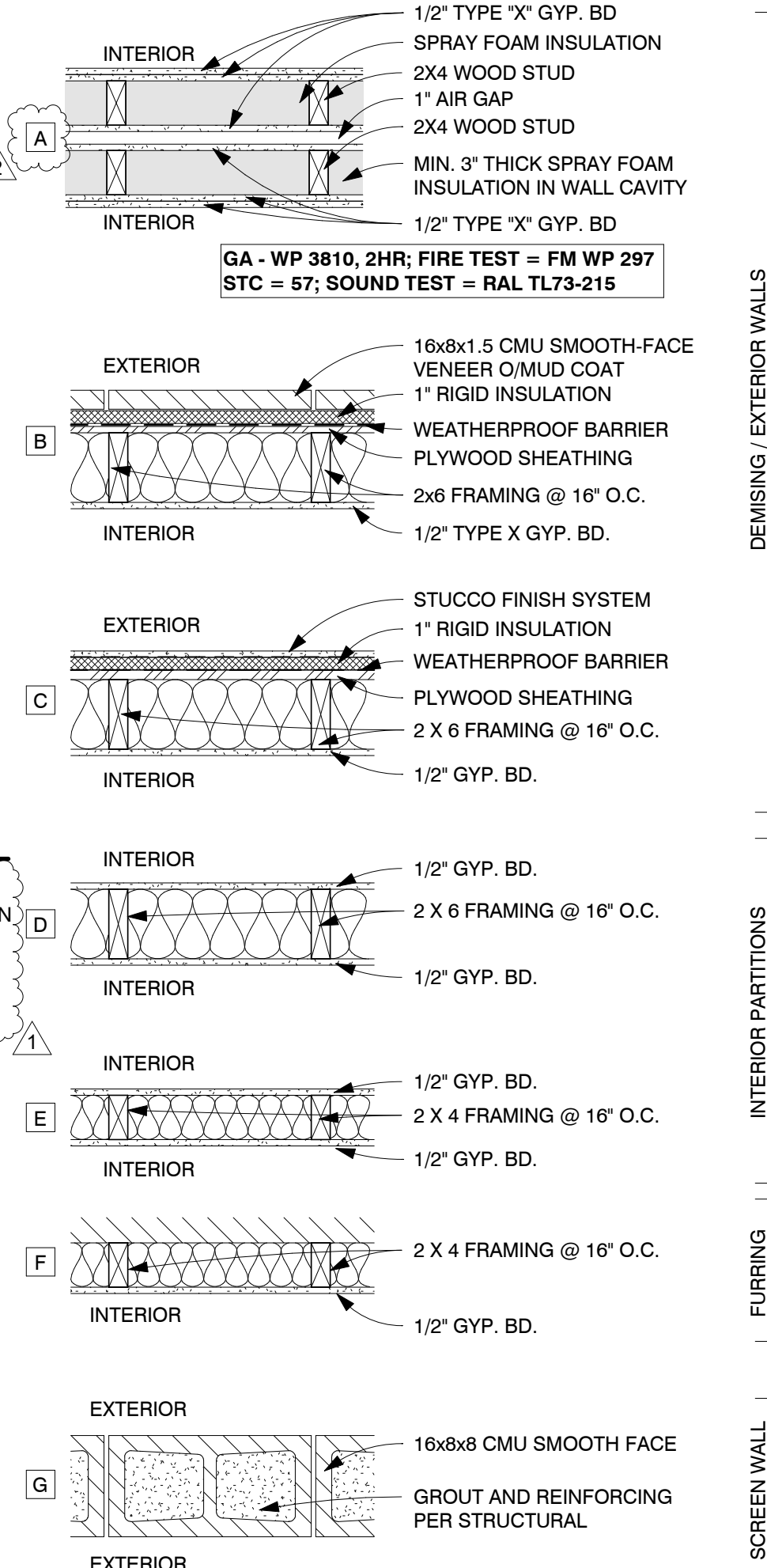
KEYNOTES

- BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
- METAL FASCIA AT BALCONY EDGE, PAINTED
- SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1
- METAL SHADE LOUVERS, PAINTED - 6/A7.3 and 5/A7.3

WALL SECTION GENERAL NOTES

- REFER TO STRUCTURAL PLANS AND DETAILS FOR SPECIFIC SIZING, CALL OUTS AND MATERIALS.
- ALL FINISH MATERIALS TO BE PER SCHEDULE

WALL TYPE LEGEND



- NOTES:**
- USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS
 - USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS
 - USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS
 - PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
 - PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS. USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP SEPARATED BY MIN. 1/2" GYPSUM BOARD OR OTHER APPROVED THERMAL BARRIER PER IRC SECTION 318.4
 - PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS
 - ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE

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FLEETWOOD 6 TOWNHOMES
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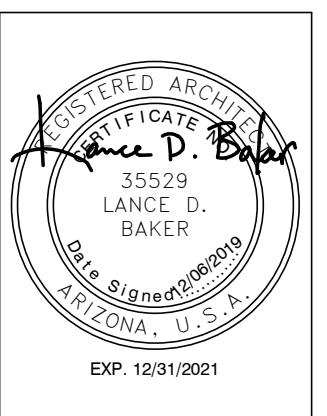
6902-6908 EAST 1ST AVE
 SCOTTSDALE, ARIZONA 85251

REVISIONS	
1	12/06/19 [1st City Comments]

Phase: CD
 Drawn By: NYK
 Reviewed By: LDB
 SDI Project No: 3876
 Date: 12/06/2019

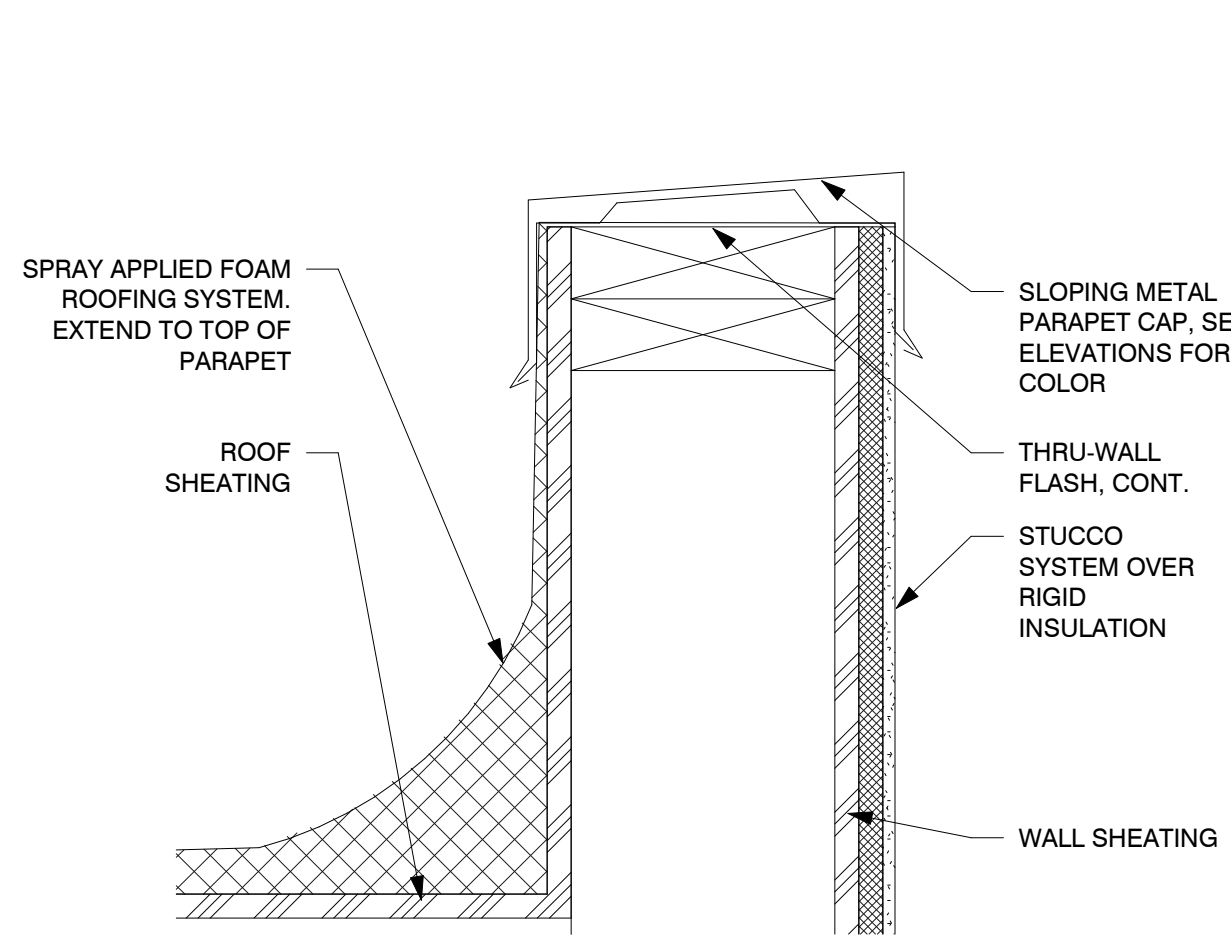
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WALL SECTIONS

19-ZN-2018 35-DR-2018

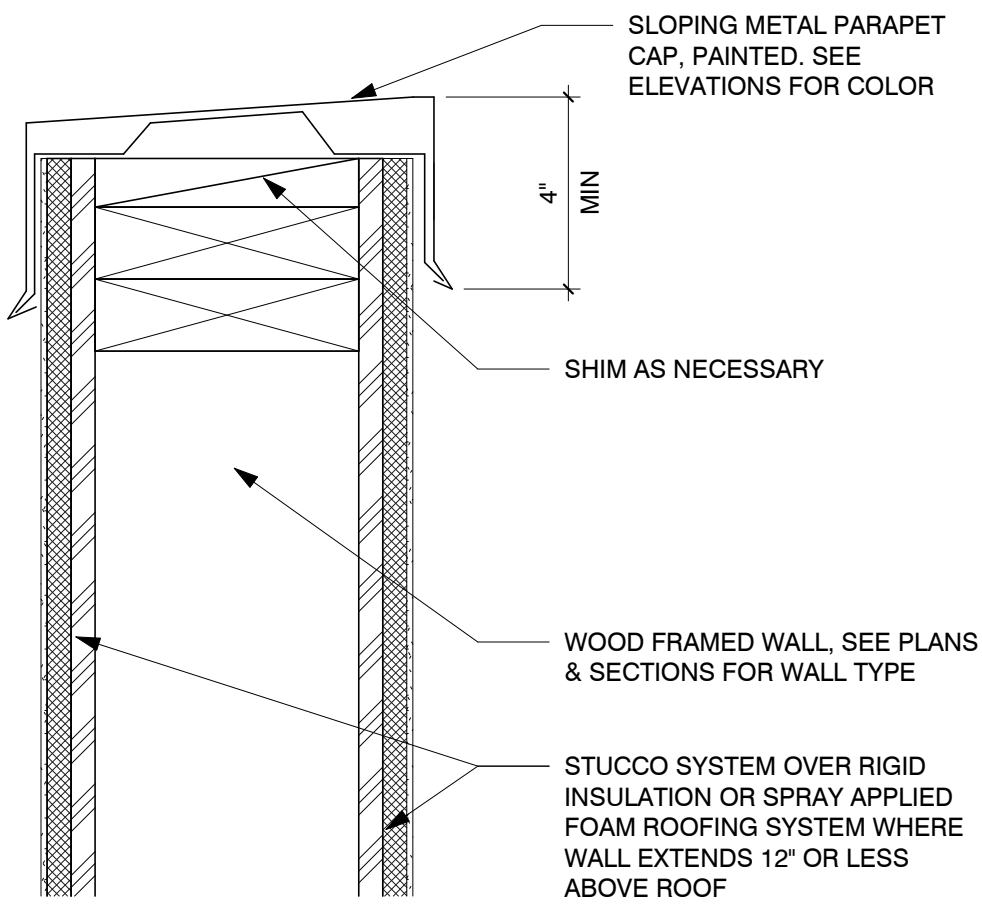


REVISIONS	
2	12/06/19 Owner Revisions

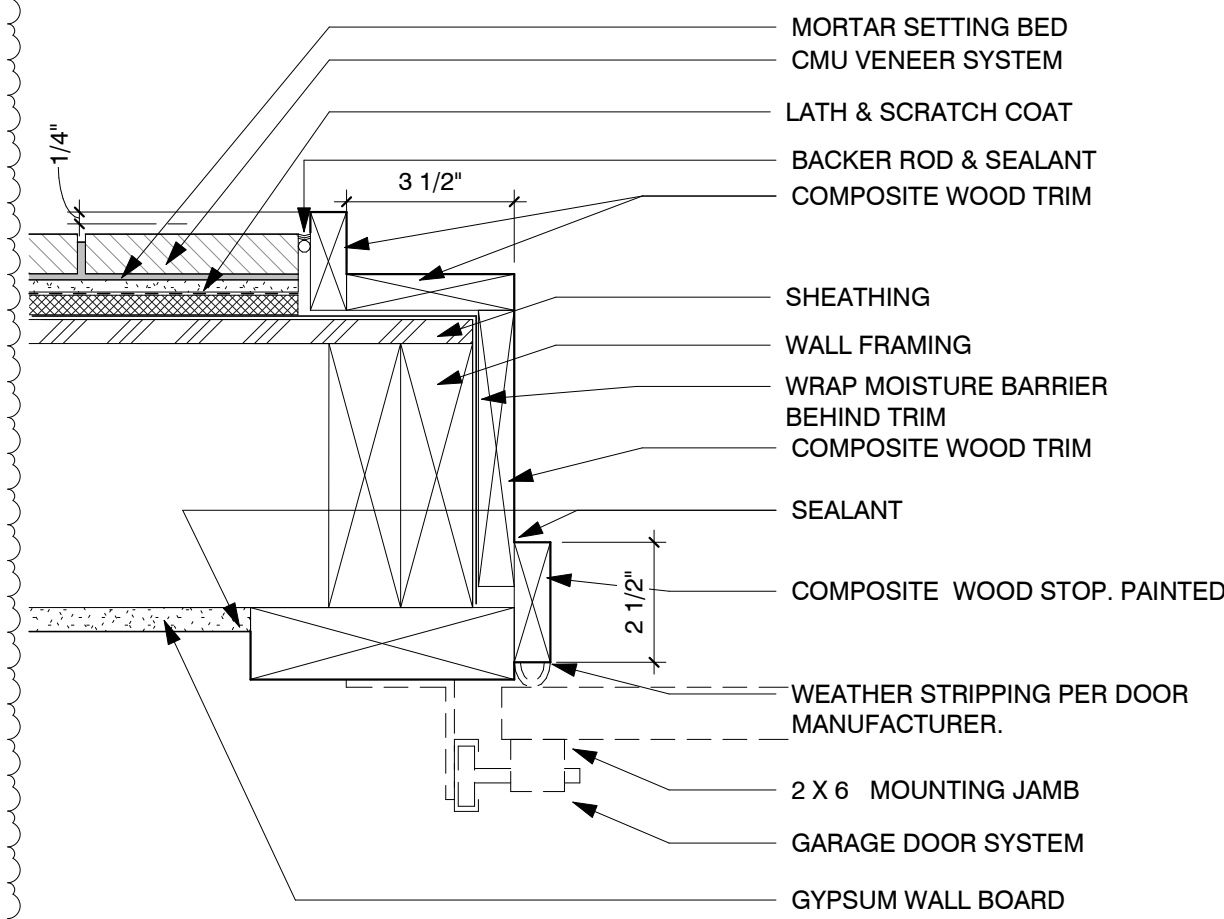
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 Drawn By: LDB
 Reviewed By: LDB
 SDI Project No: 3876
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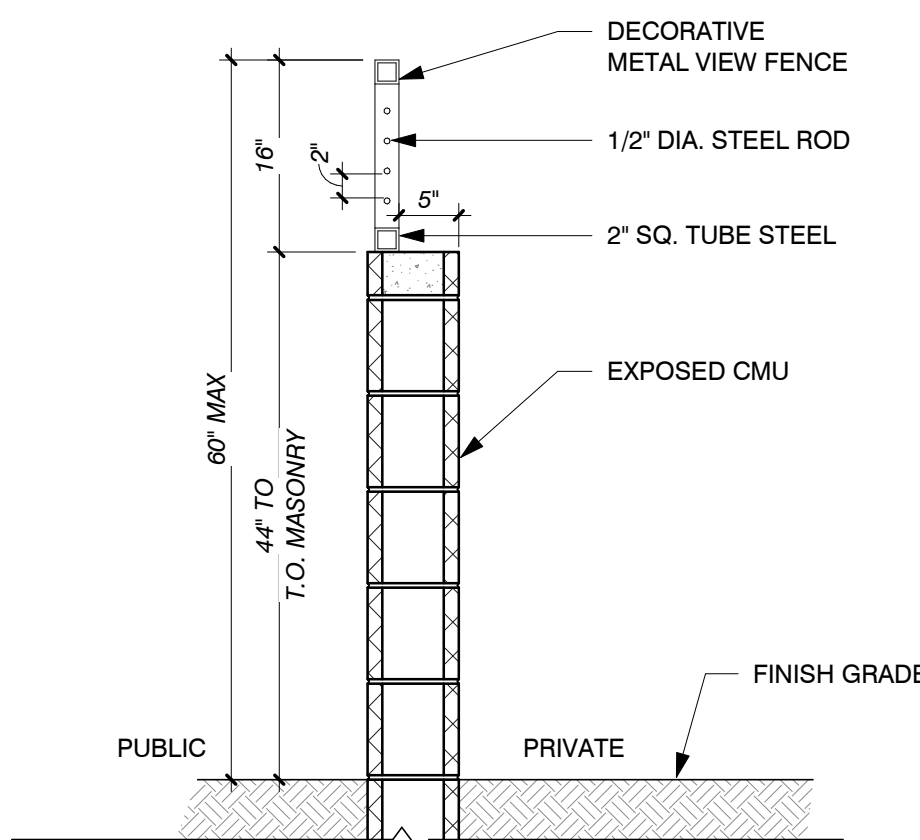
14 Parapet Metal Cap
 3" = 1'-0"



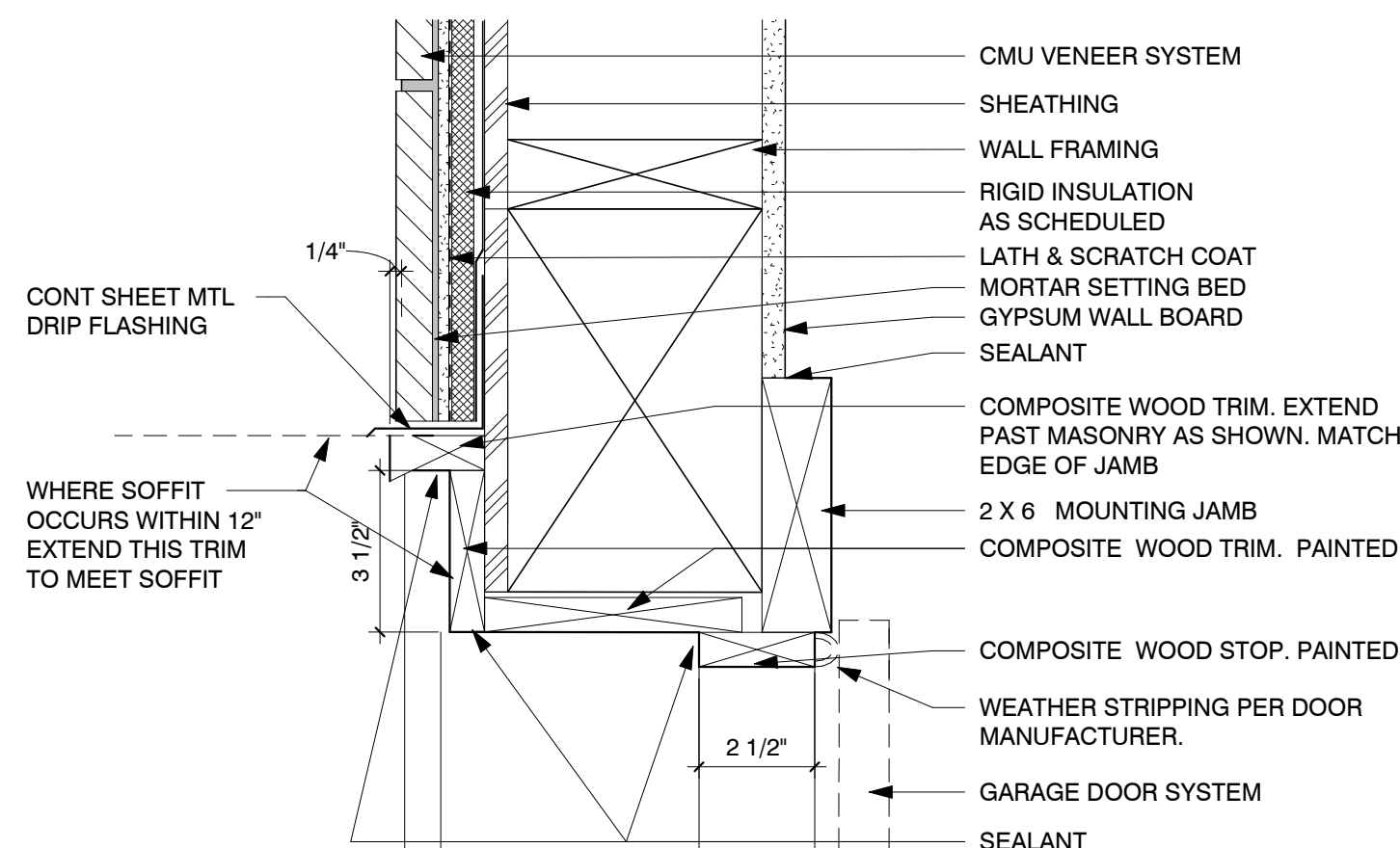
13 Parapet Metal Cap at Wood Wall
 3" = 1'-0"



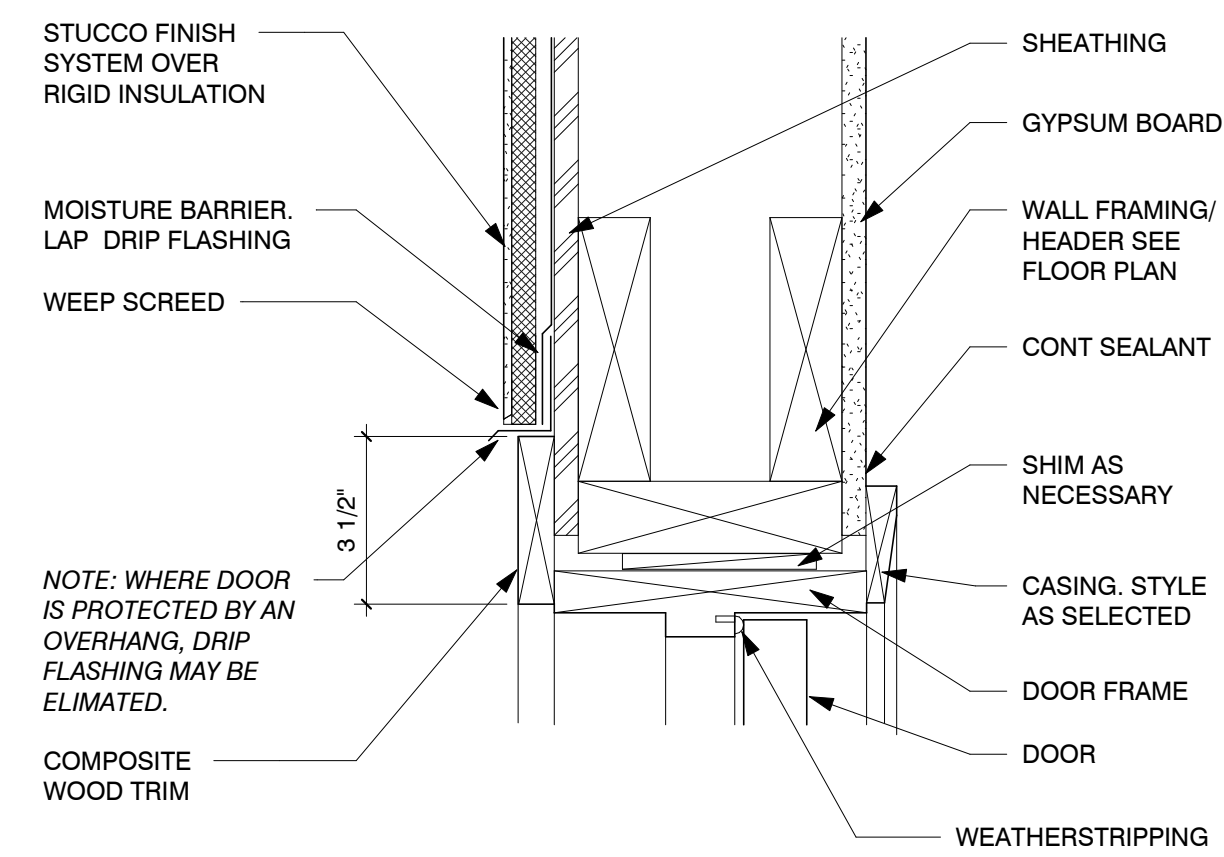
12 Garage Door Jamb
 3" = 1'-0"



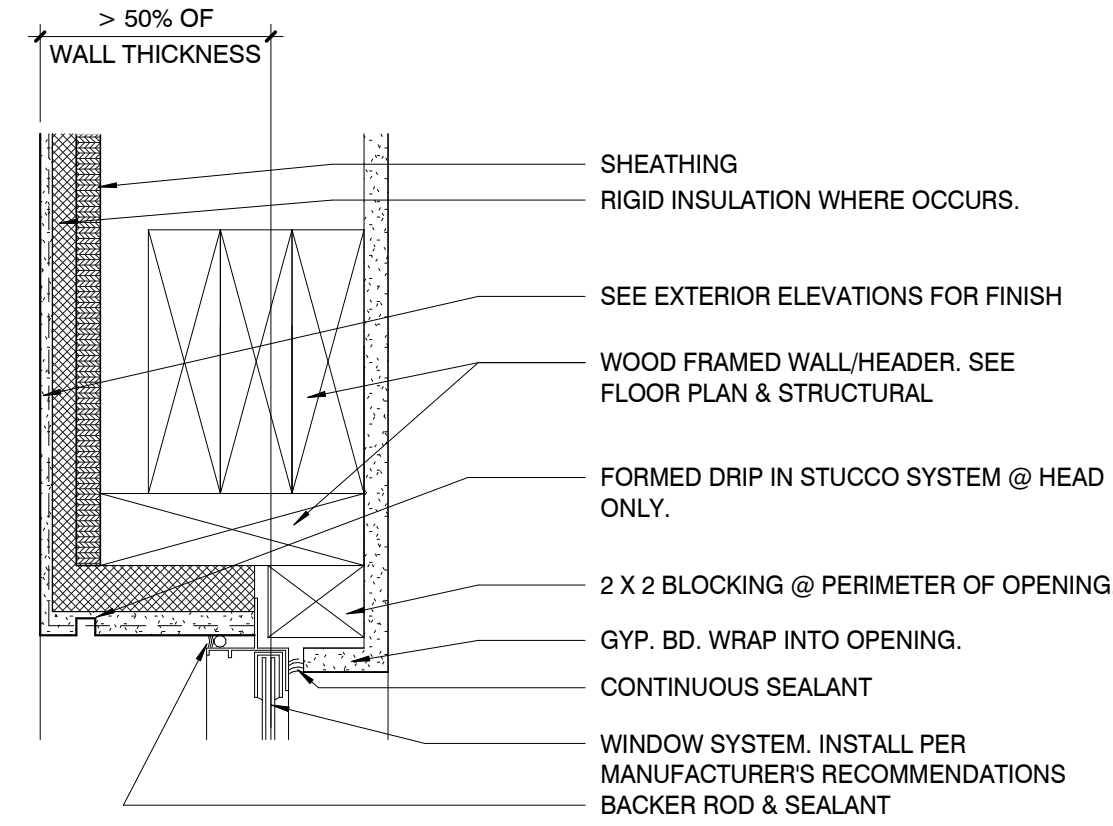
15 Patio Walls w/ Wrought Iron
 3/4" = 1'-0"



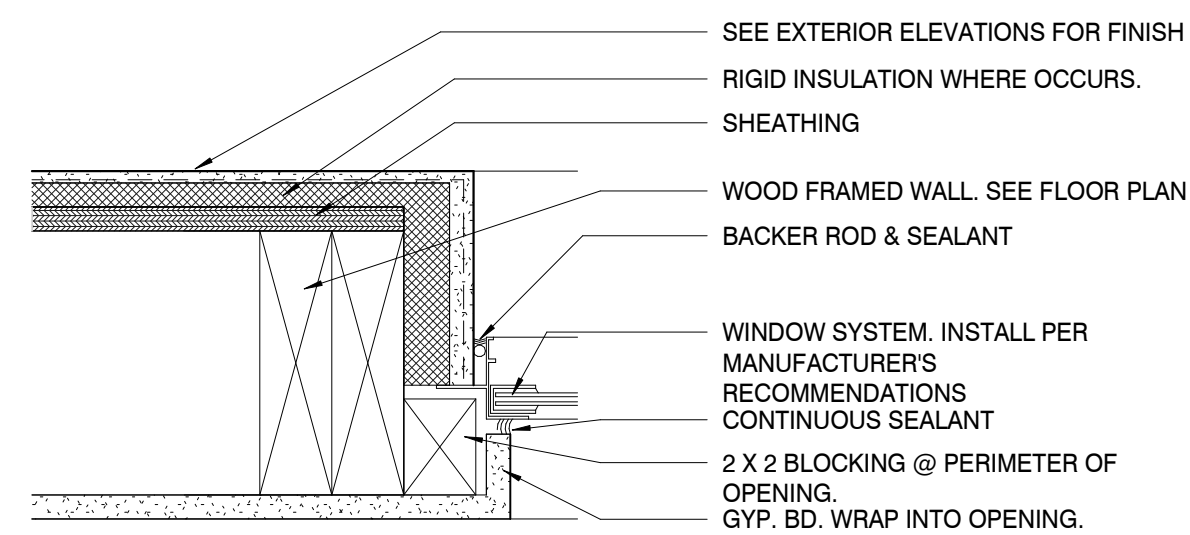
11 Garage Door Head
 3" = 1'-0"



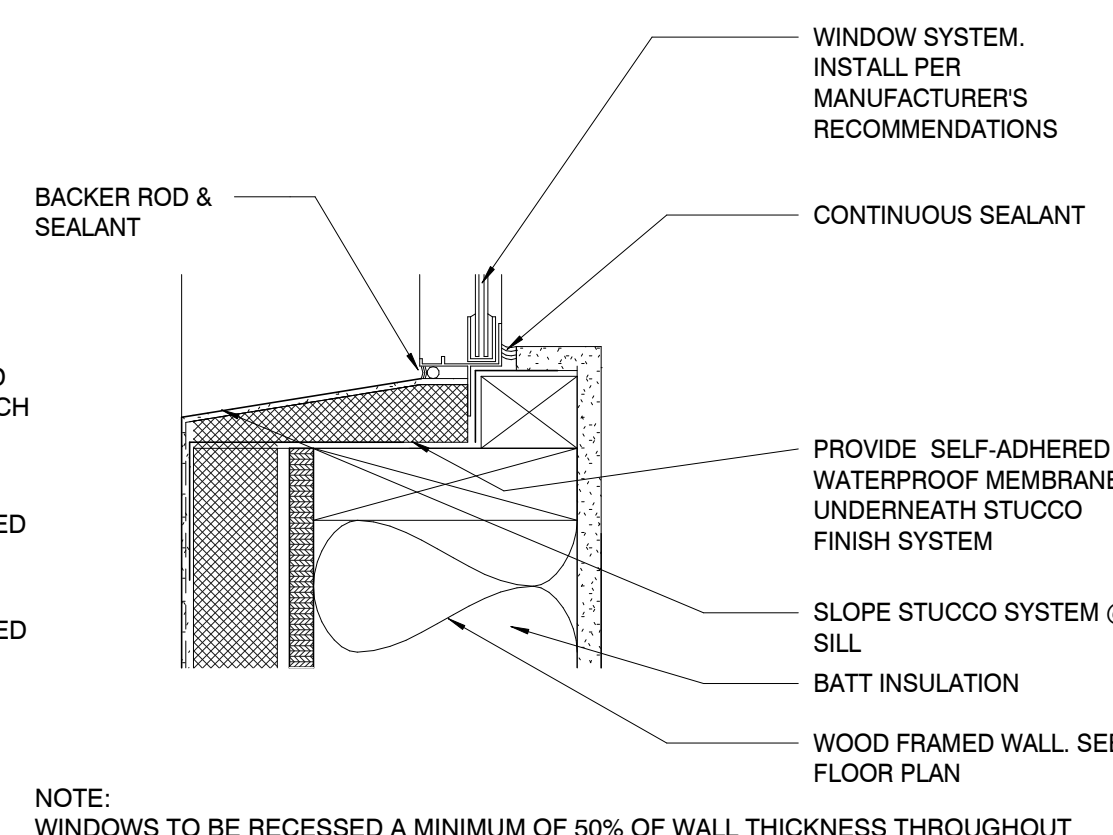
10 Exterior Door Head
 3" = 1'-0"



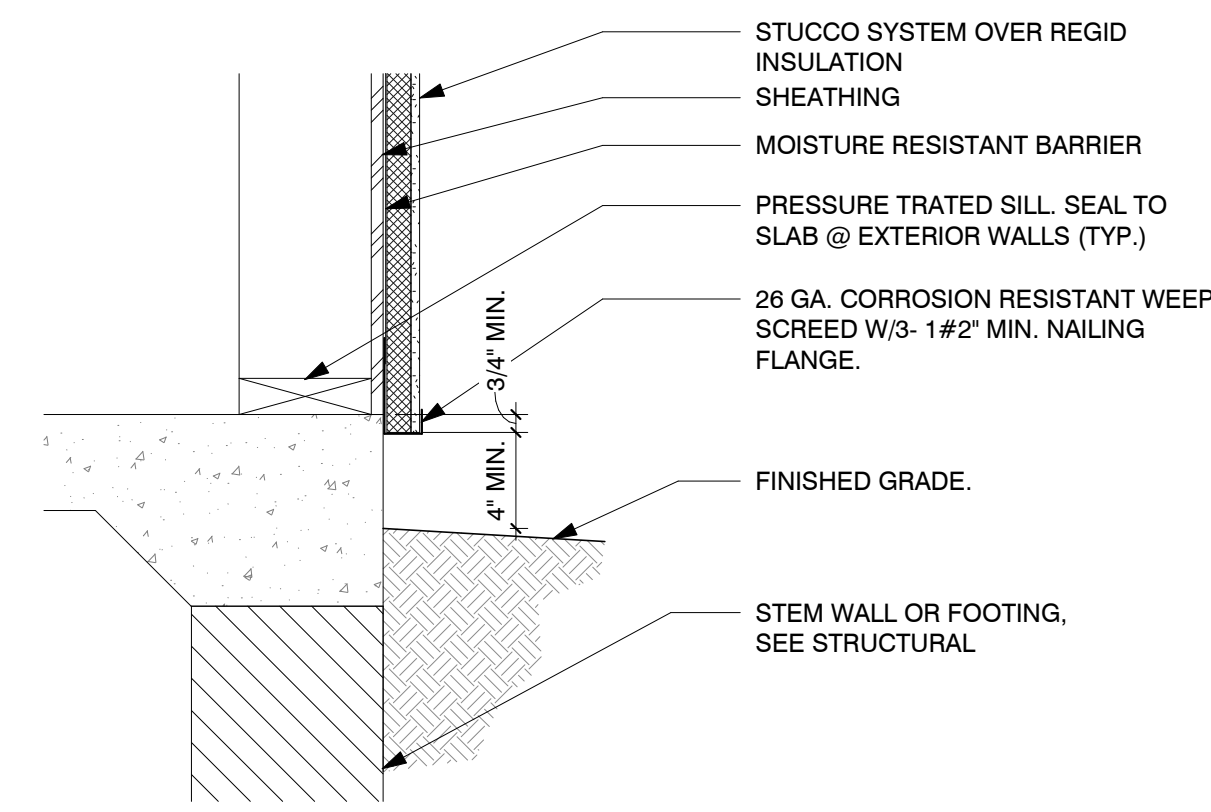
9 Window Head
 3" = 1'-0"



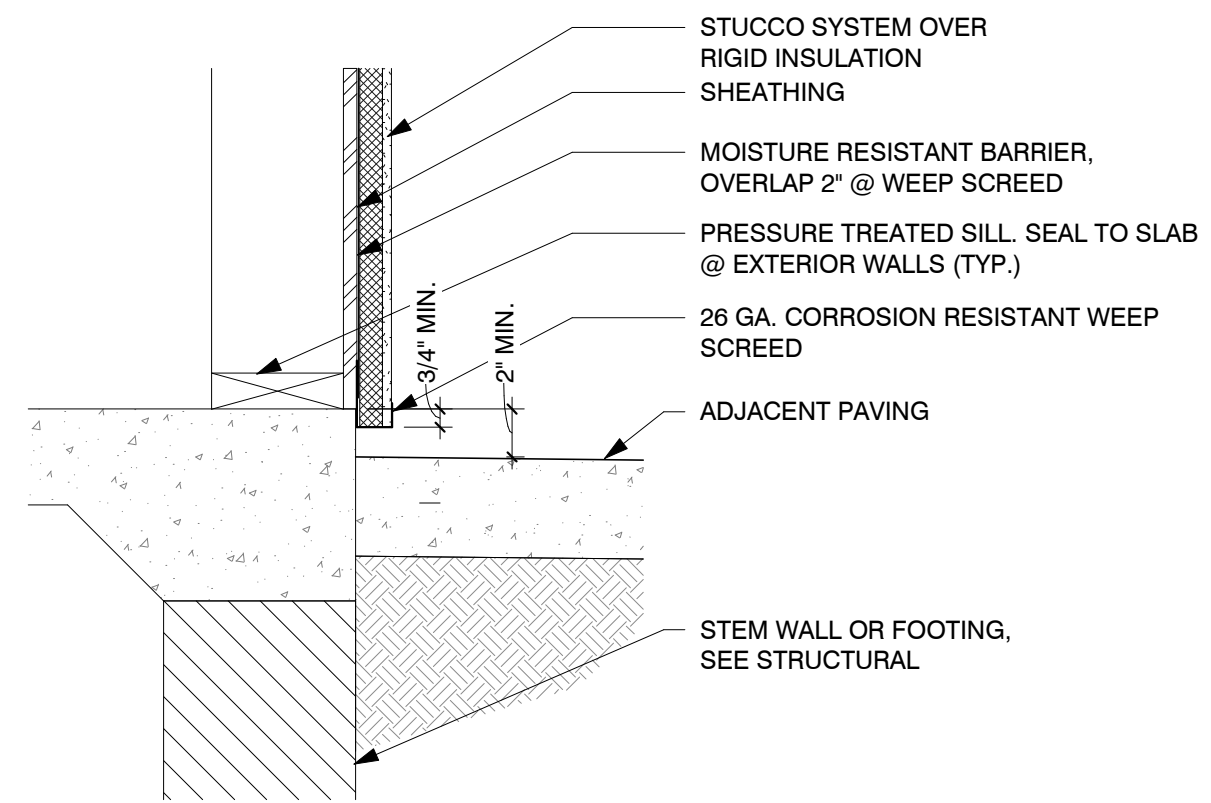
8 Window Jamb
 3" = 1'-0"



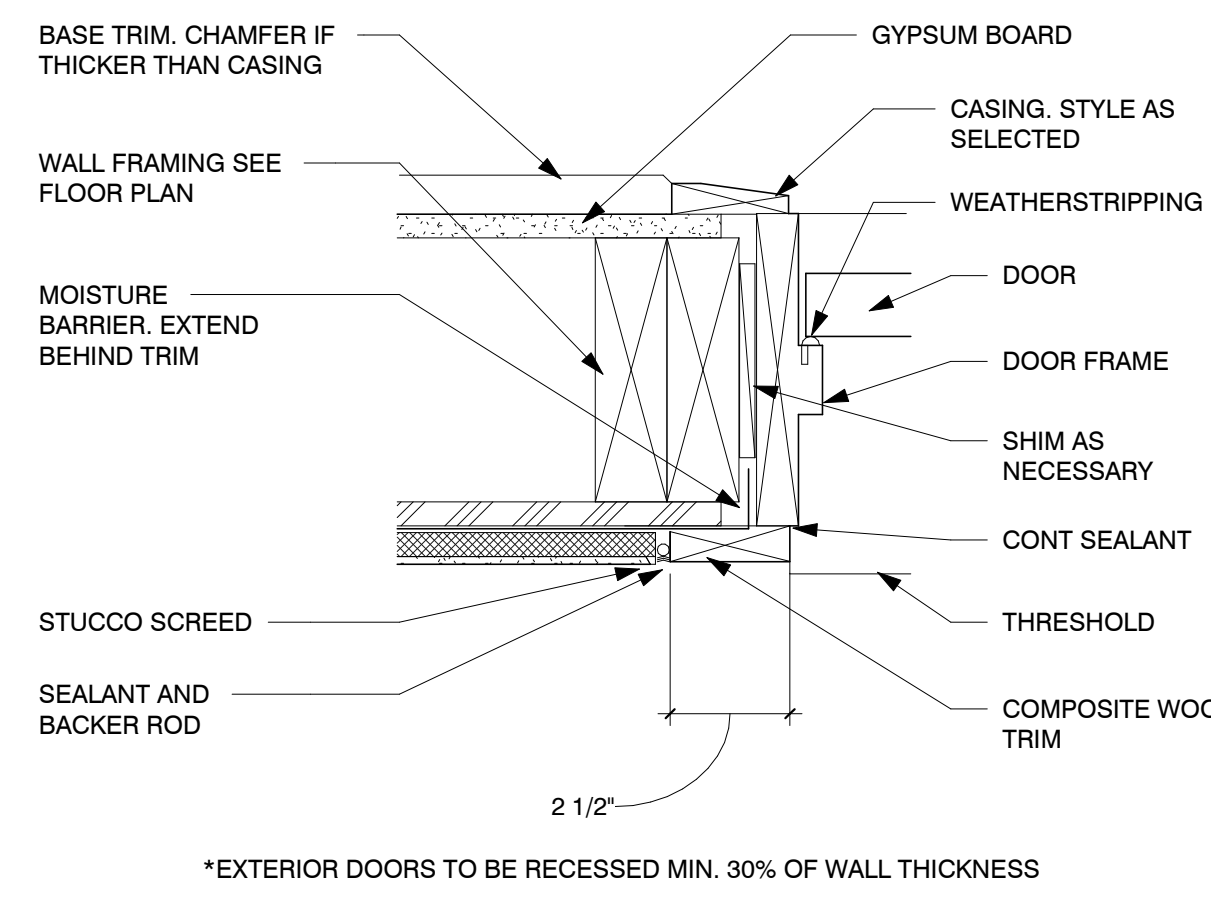
7 Window Sill
 3" = 1'-0"



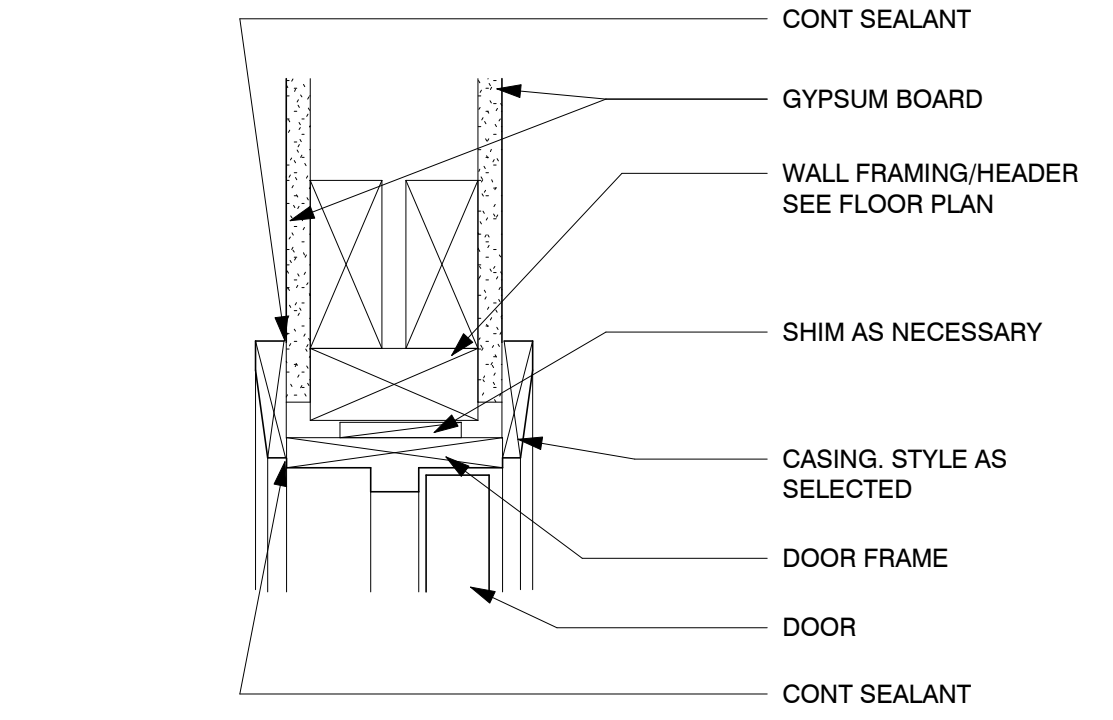
6 Stucco Weep Screed @ Grade
 1 1/2" = 1'-0"



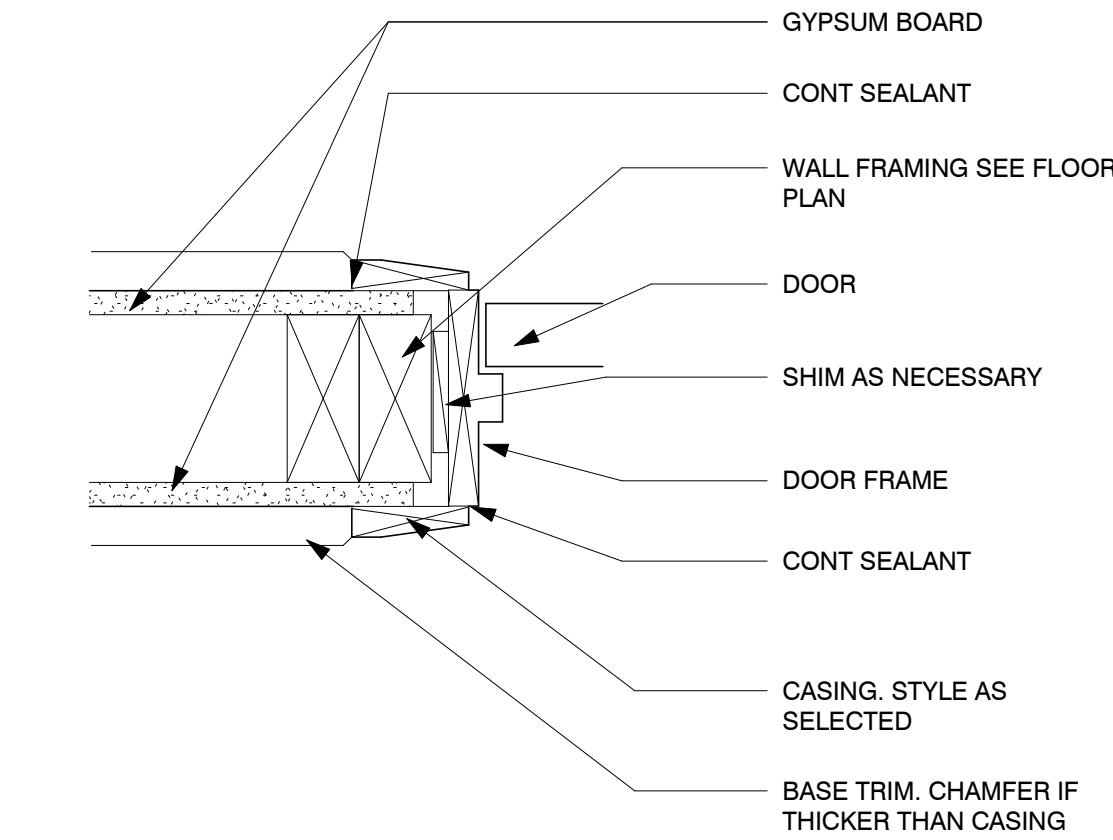
5 Stucco Weep Screed @ Paving
 1 1/2" = 1'-0"



4 Exterior Door Jamb
 3" = 1'-0"



HEAD

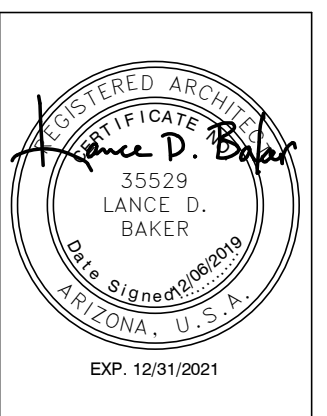


JAMB

1 Interior Door Head & Jamb
 3" = 1'-0"

DETAIL REMOVED

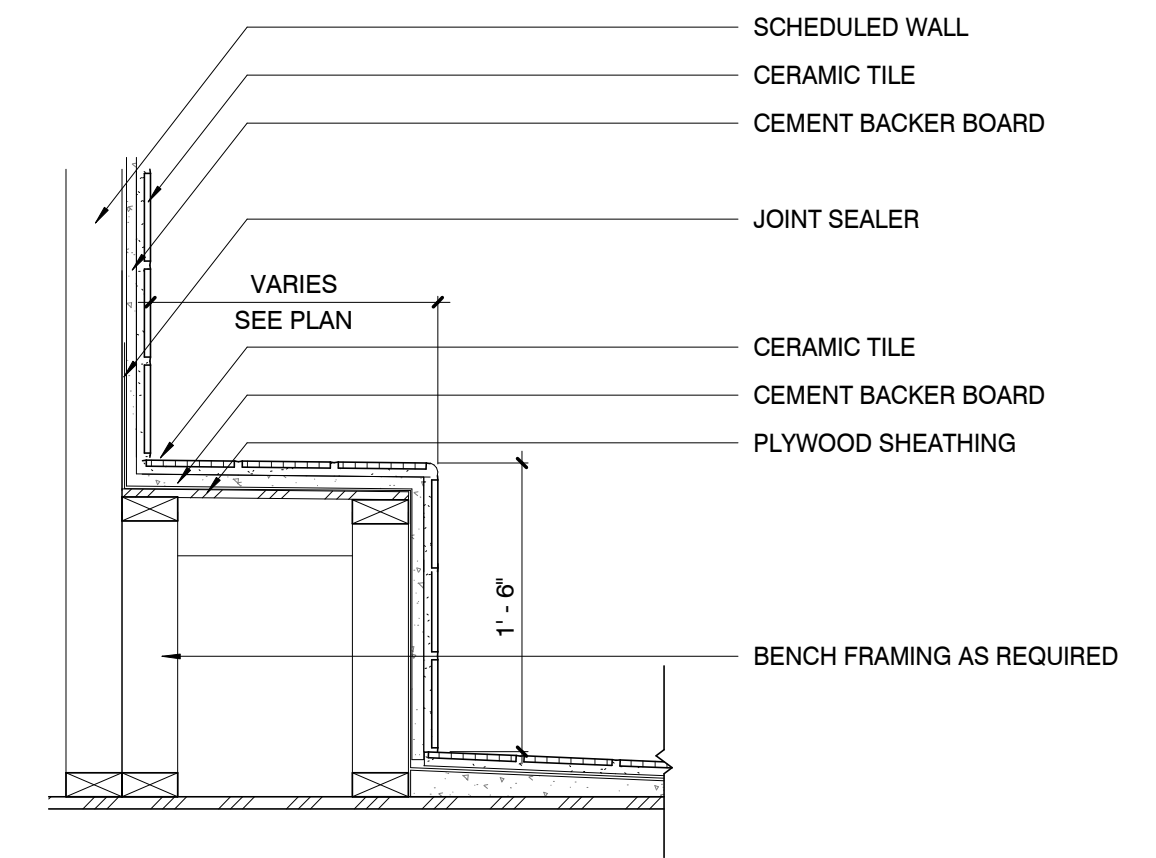
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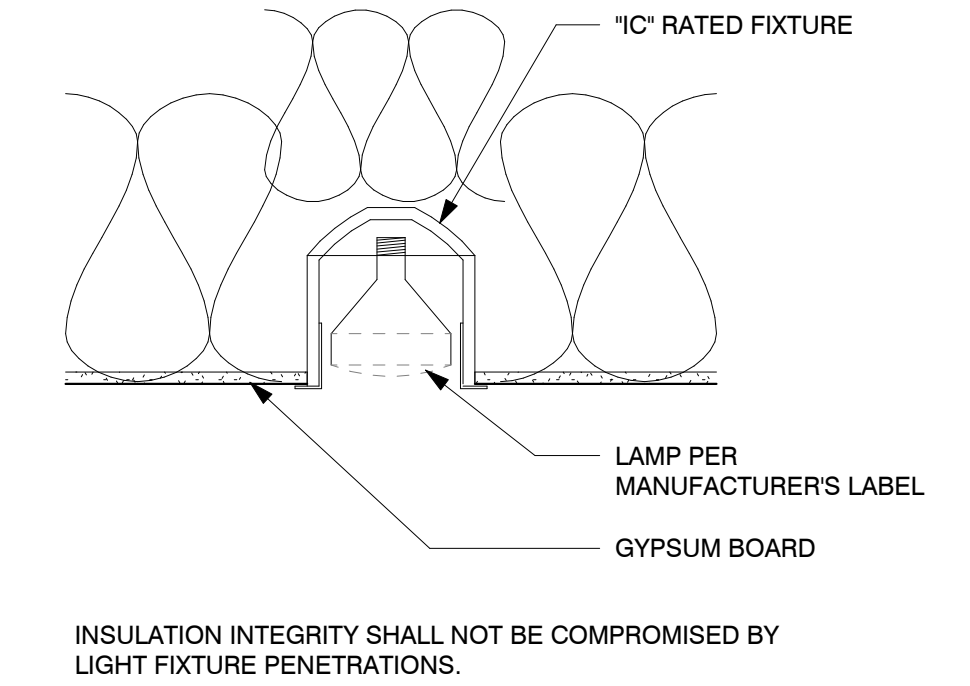
REVISIONS	
1	12/06/19 [1st City Comments]

Phase: CD
 Drawn By: Author
 Reviewed By: Checker
 SDI Project No: 3876
 Date: 12/06/2019

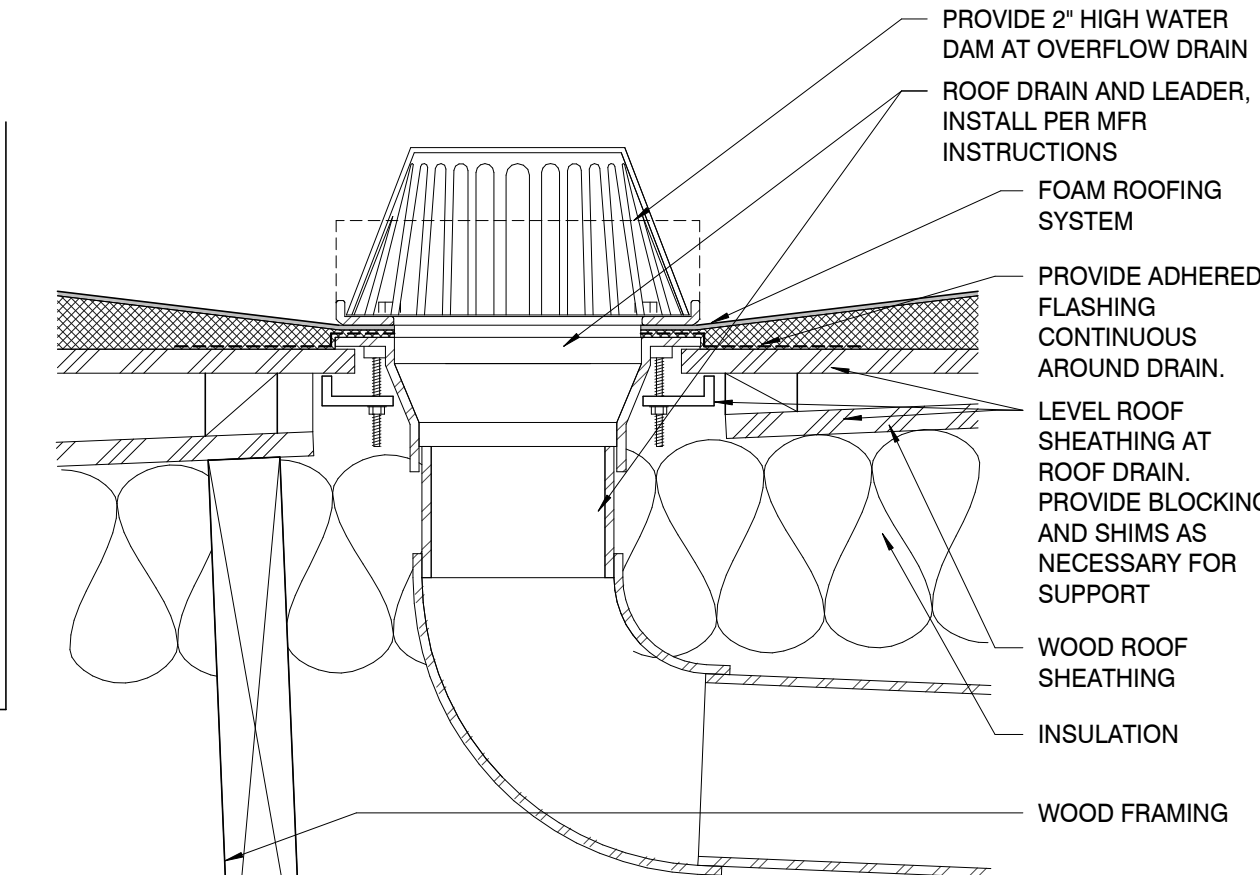
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 DETAILS



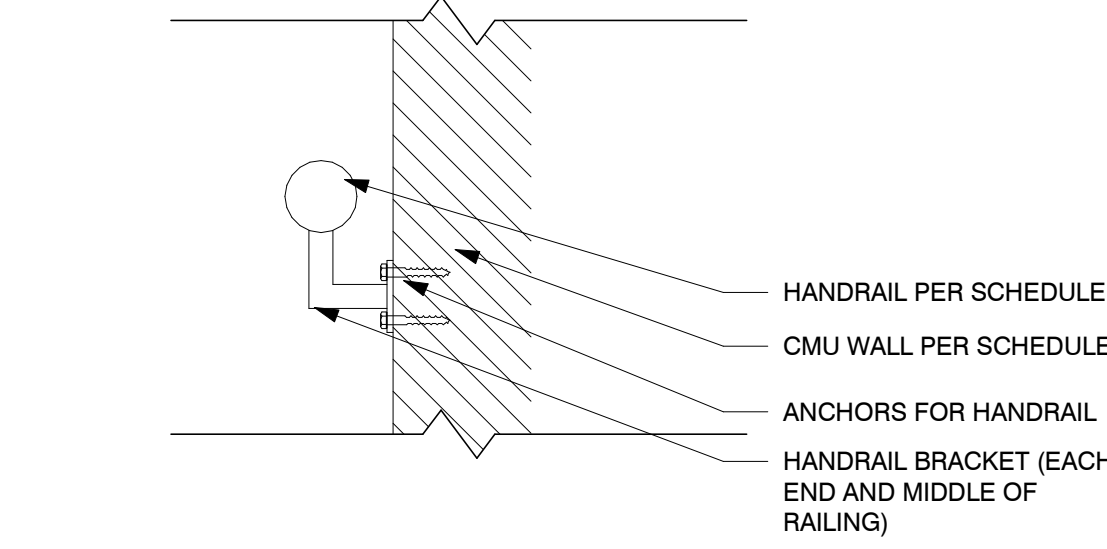
4 Shower Bench Detail
 1" = 1'-0"



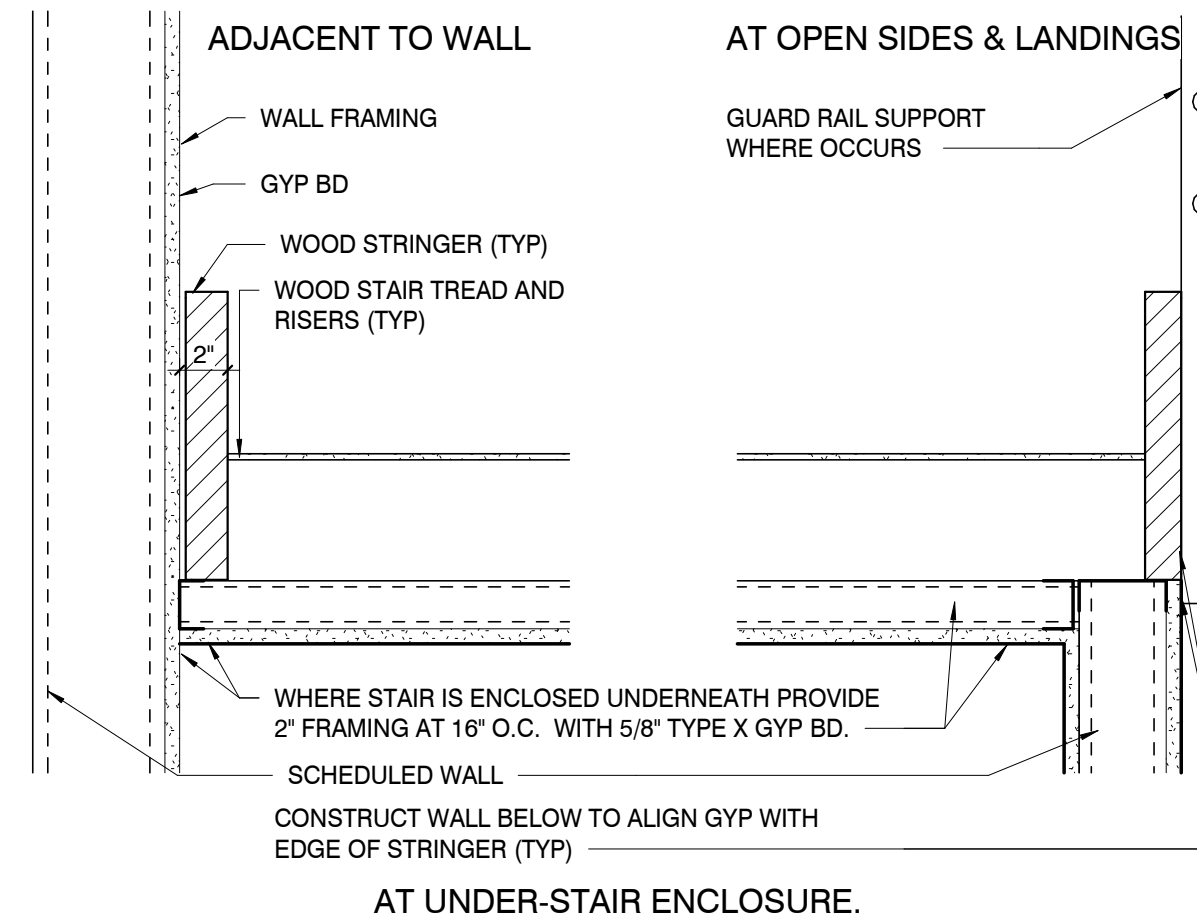
3 Recessed Can Installation
 1 1/2" = 1'-0"



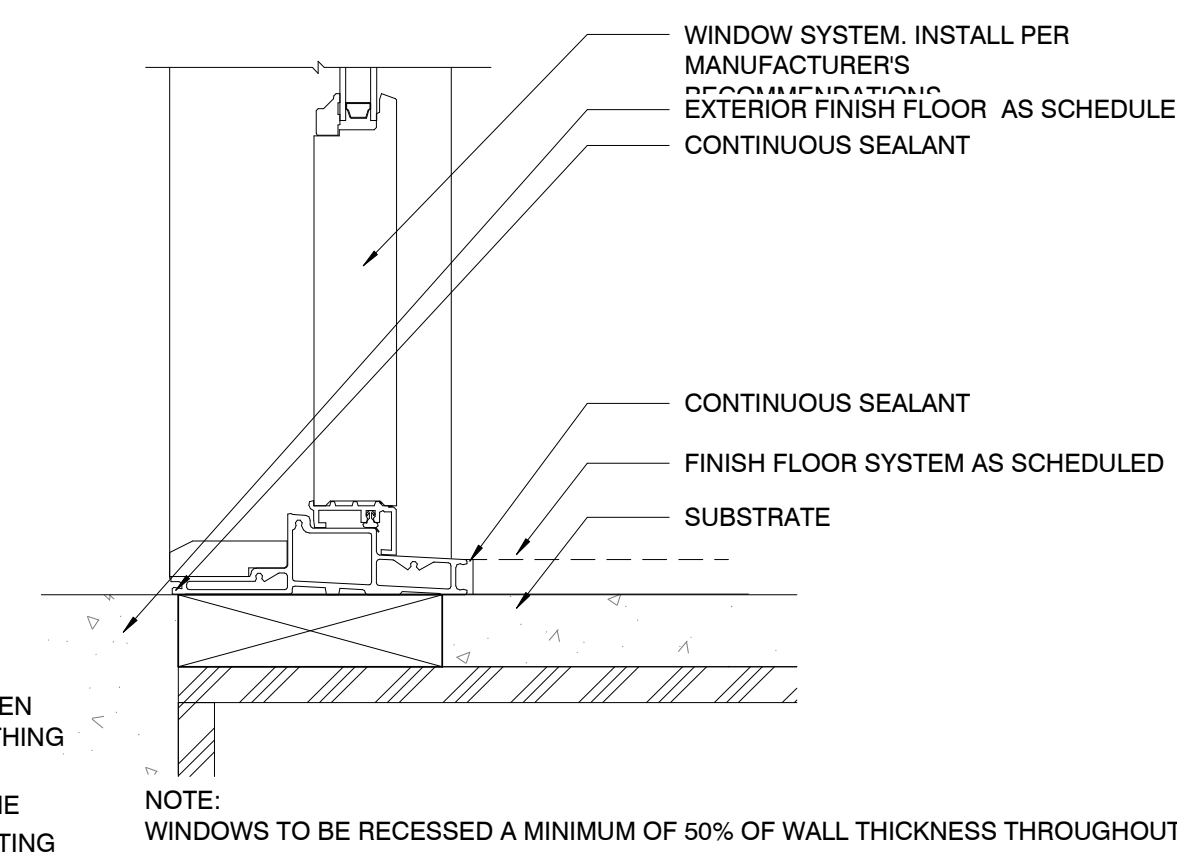
7 Typical Roof Drain / Overflow
 3" = 1'-0"



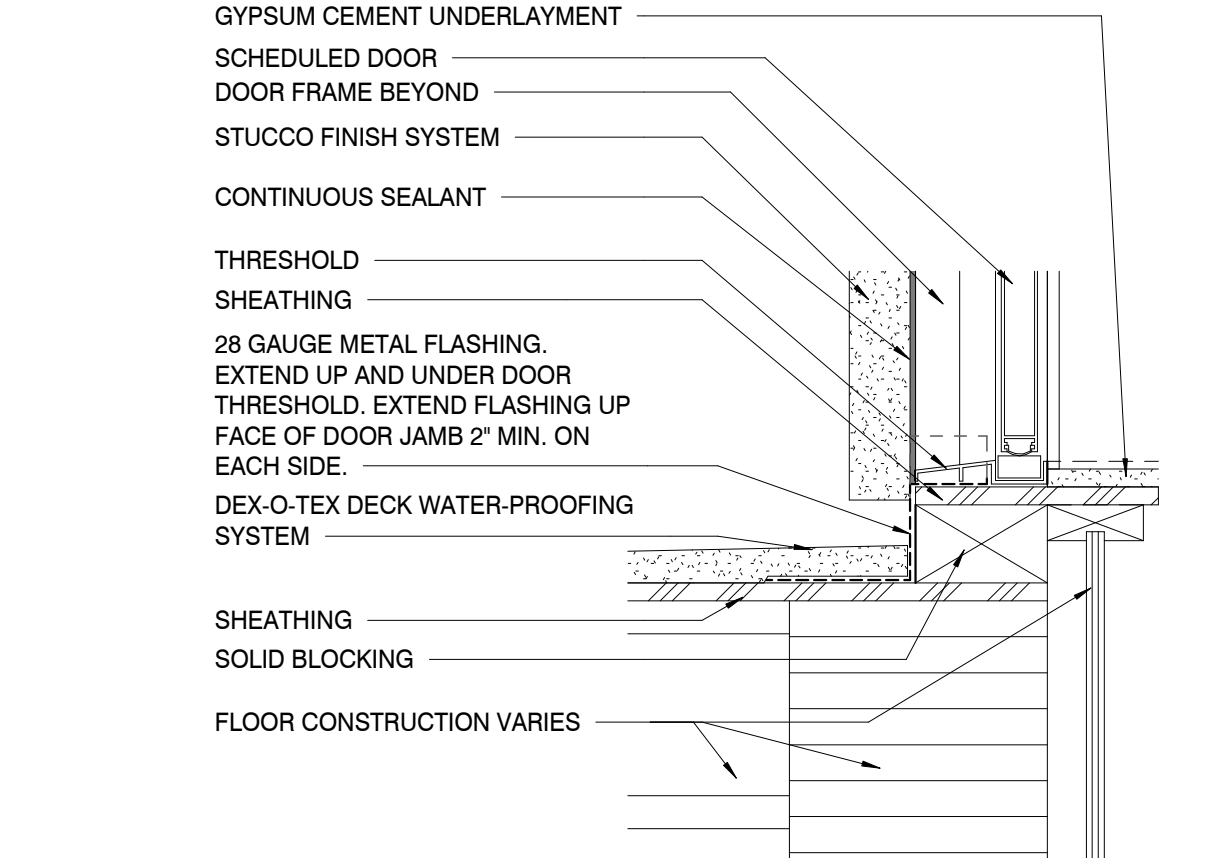
12 Handrail to CMU connection
 1 1/2" = 1'-0"



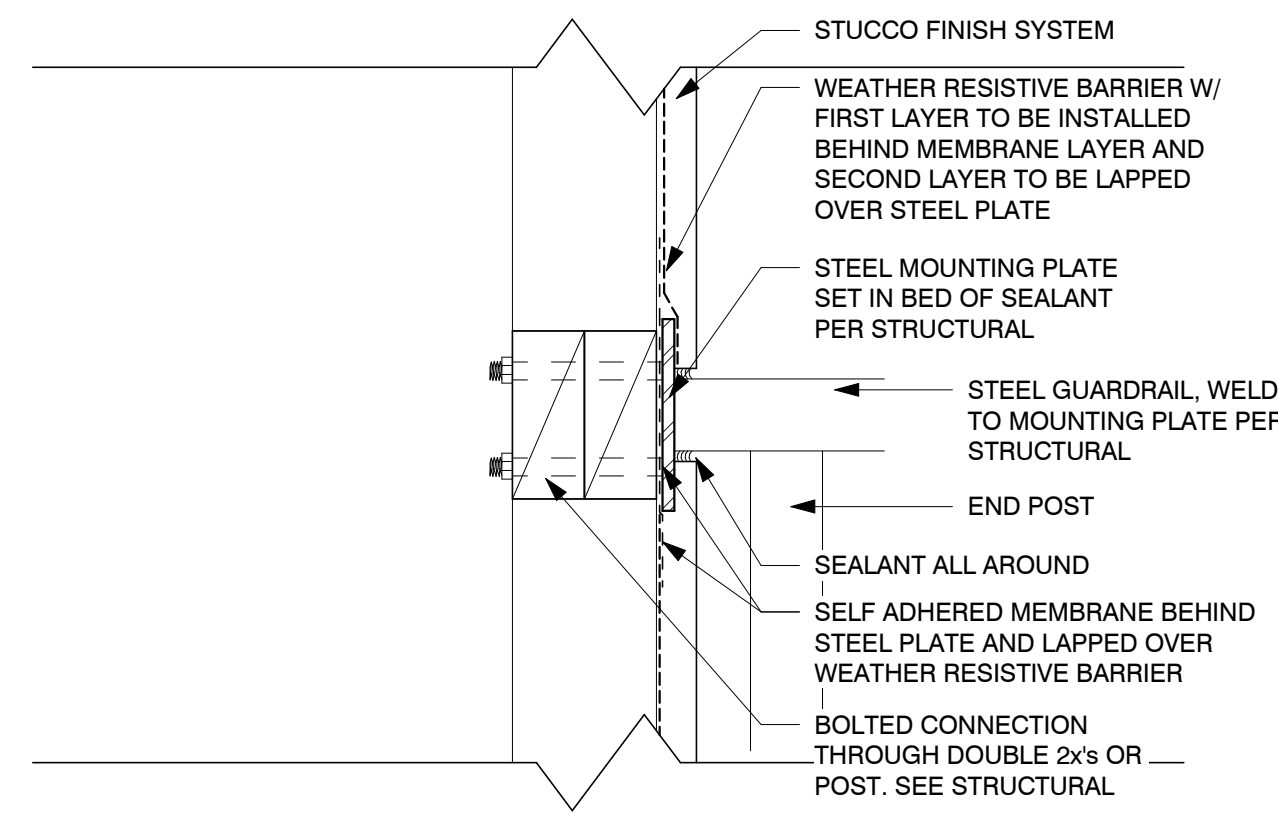
11 Interior Stair Section
 1 1/2" = 1'-0"



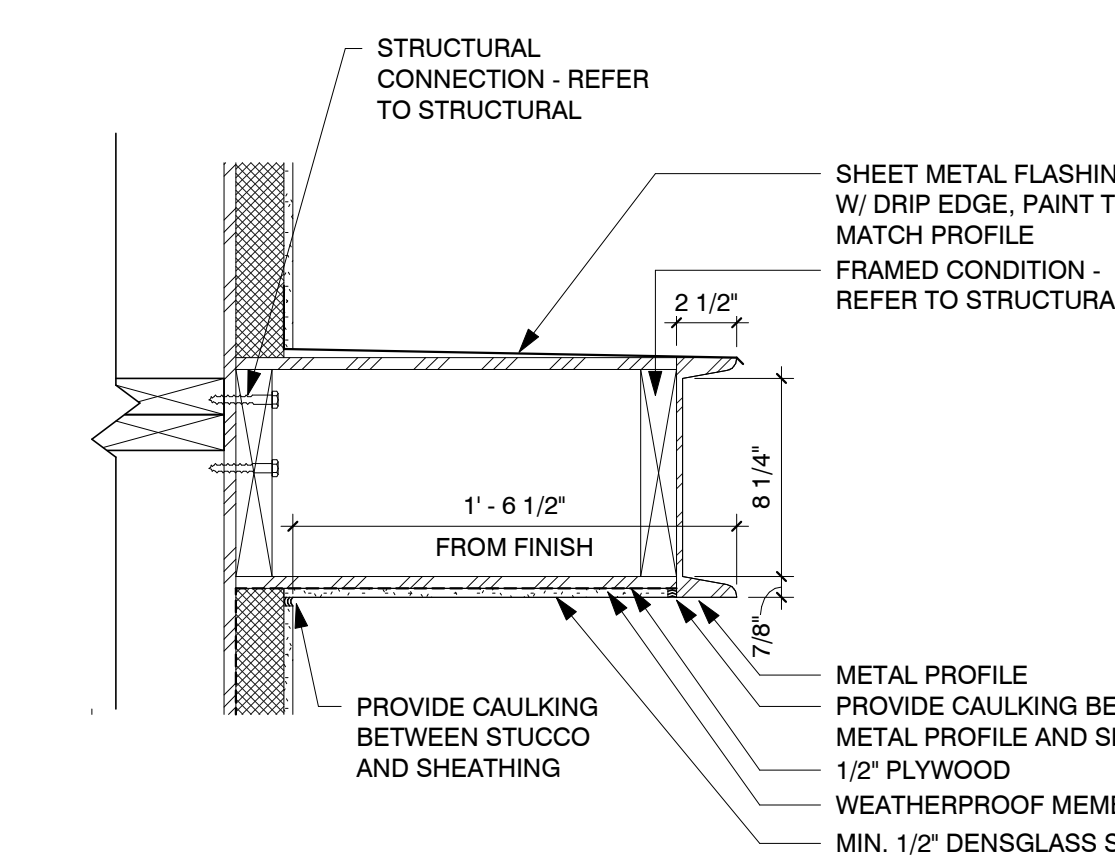
6 RW Typical Window Sill Detail On Floor
 3" = 1'-0"



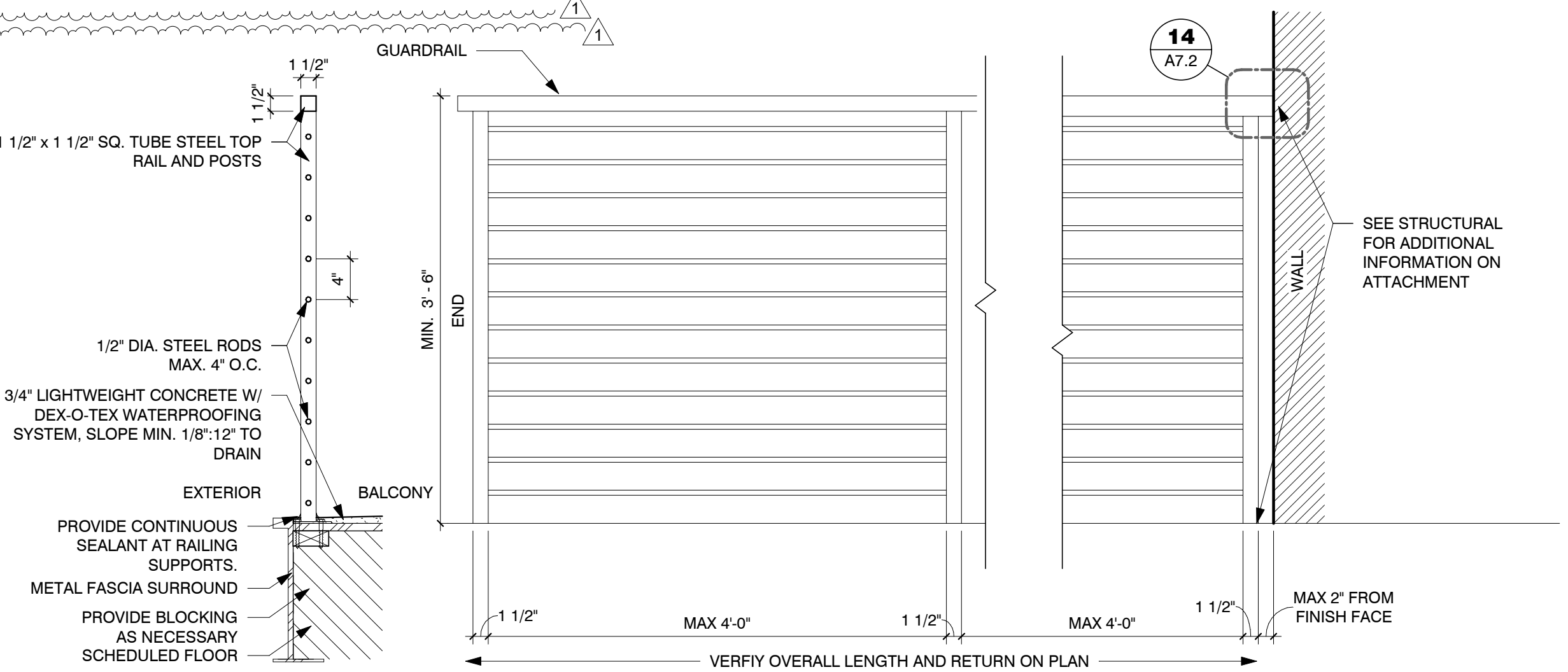
2 Deck Waterproofing at Level 3 Door Threshold
 1 1/2" = 1'-0"



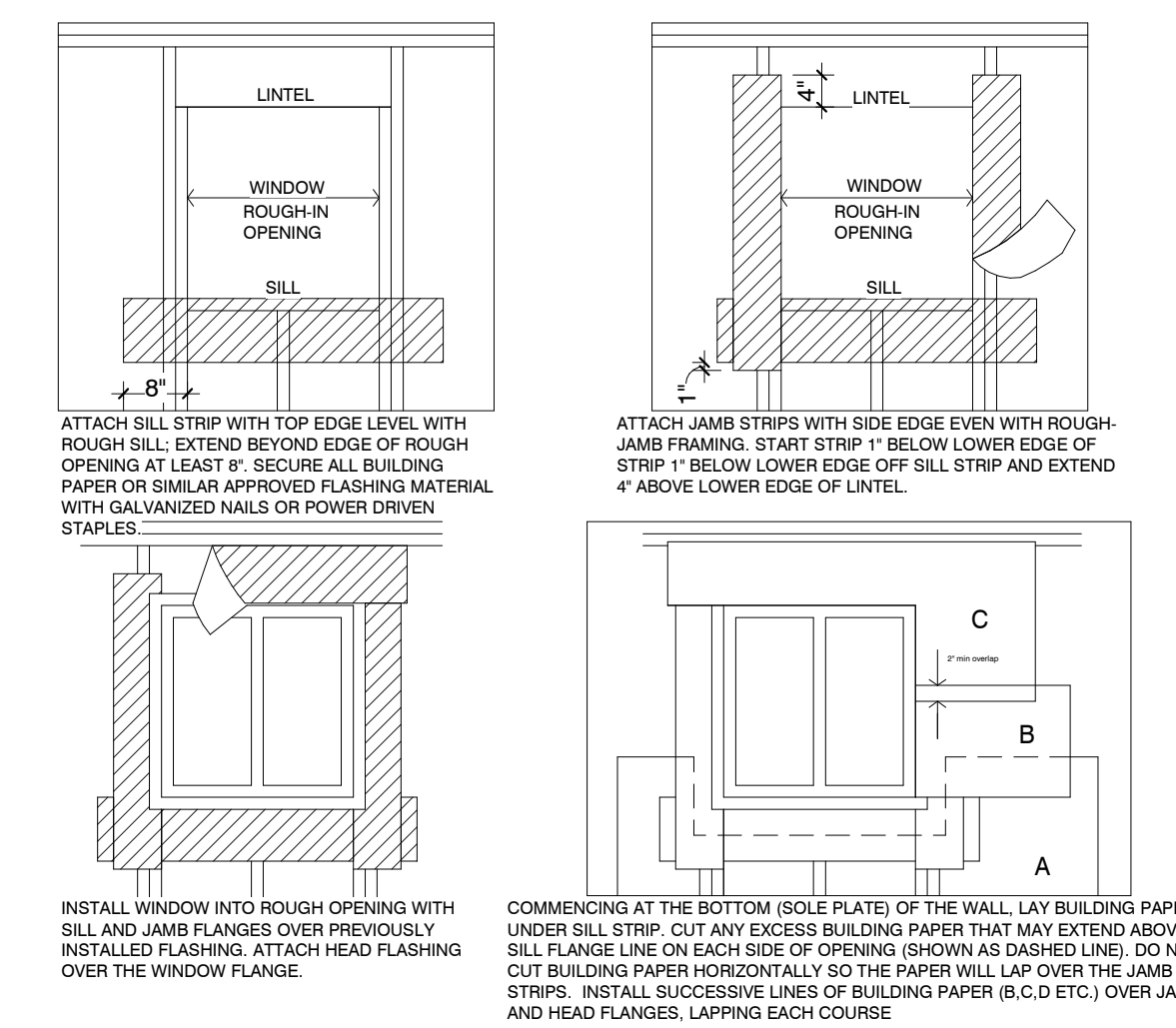
14 BALCONY RAIL ATTACHMENT DETAIL
 3" = 1'-0"



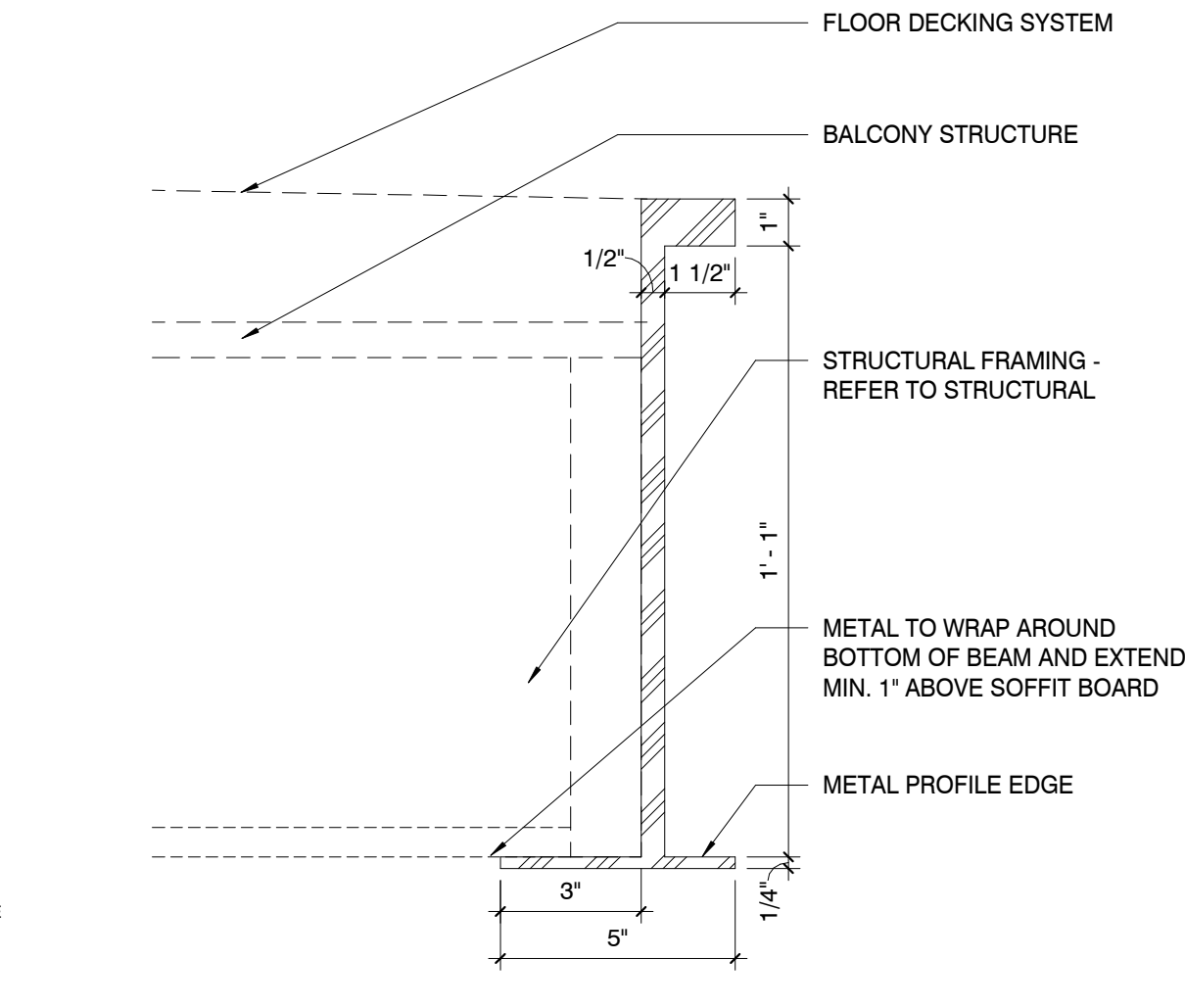
10 Typical Overhang Detail
 1 1/2" = 1'-0"



13 BALCONY RAILING
 1" = 1'-0"

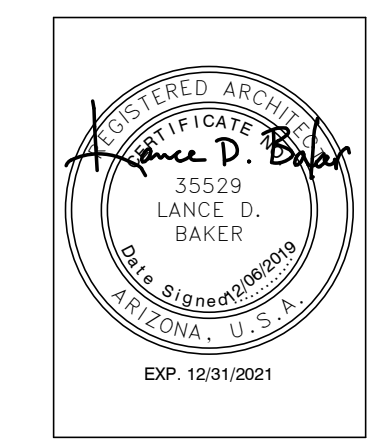


5 Building Paper Window Flashing
 1/2" = 1'-0"



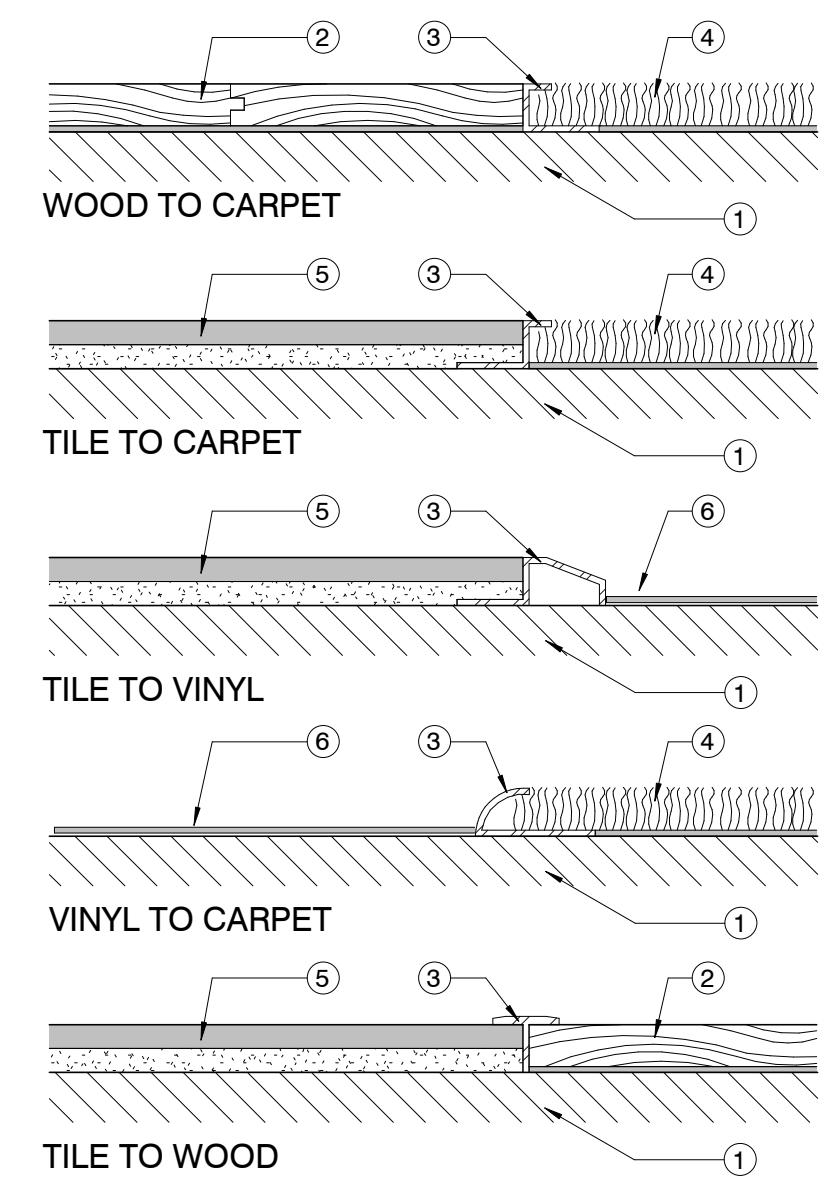
1 Metal Fascia @ Balcony
 3" = 1'-0"

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REVISIONS	
1	12/06/19 1st City Comments

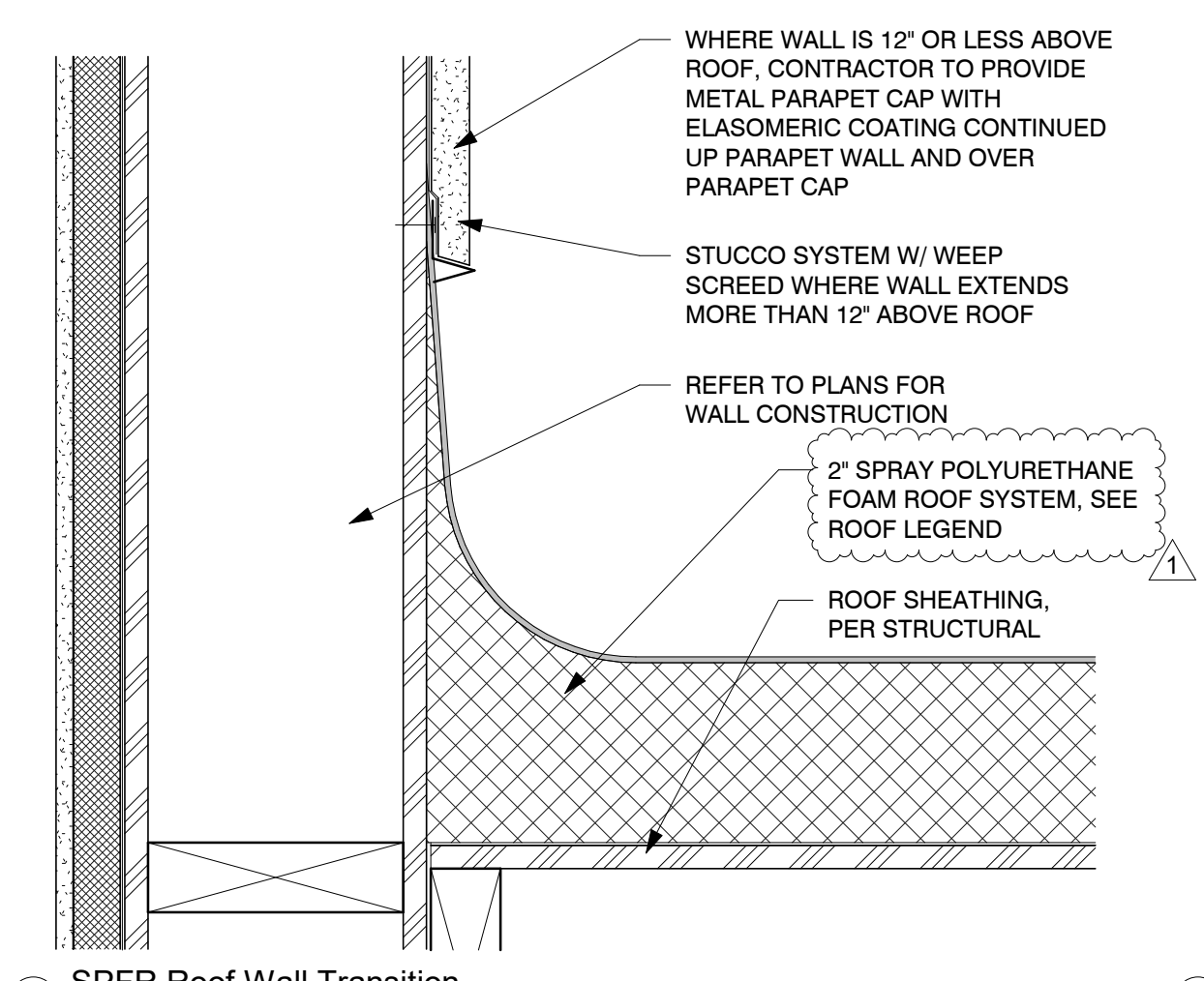
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 Drawn By: RD
 Reviewed By: LDB
 SDI Project No: 3876
 Date: 12/06/2019



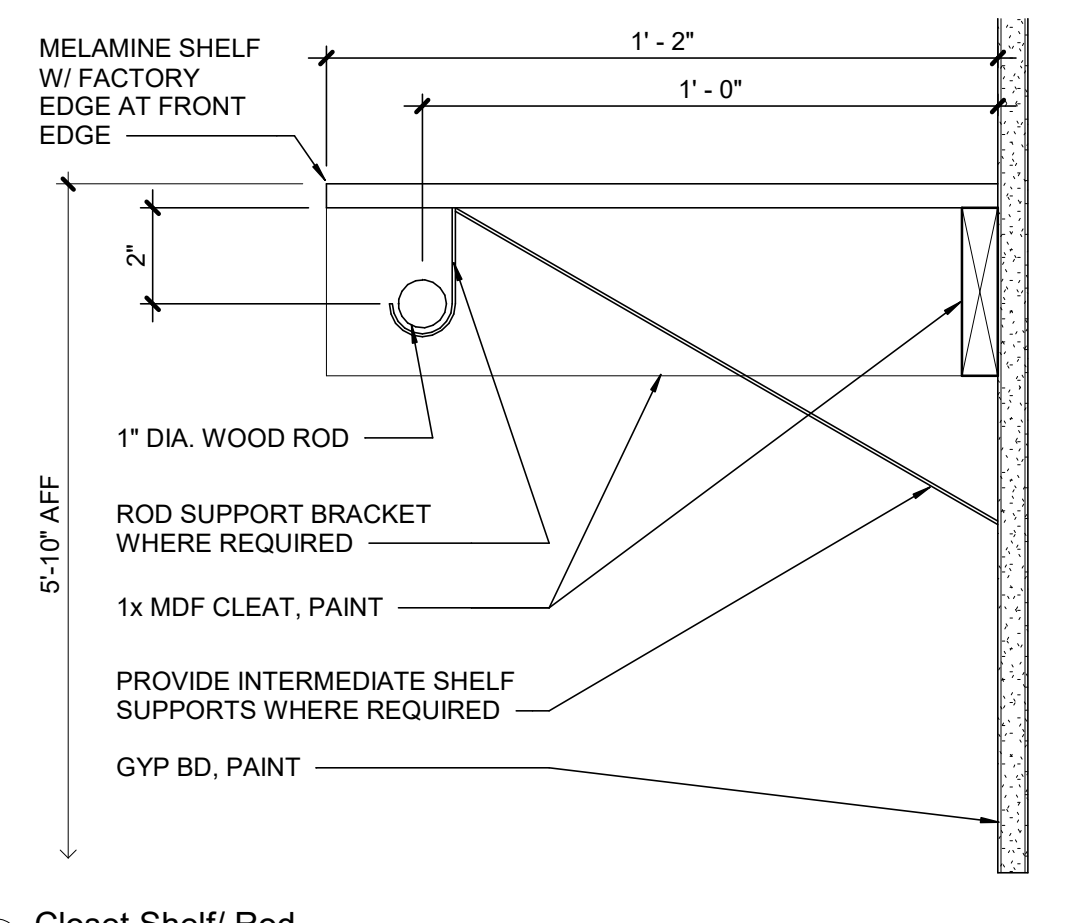
KEYNOTES:
 1. SUBSTRATE (VARIES)
 2. WOOD FLOORING
 3. CONTINUOUS METAL TRANSITION STRIP AS SHOWN.
 4. CARPET.
 5. TILE
 6. VINYL TILE

GENERAL NOTES:
 A. TRANSITION STRIPS COLOR SHALL MATCH THROUGHOUT THE PROJECT
 B. COORDINATE TRANSITION STRIP HEIGHTS/SLOPE WITH MATERIALS USED
 C. VERIFY FLOORING INSTALLATION METHODS TO BE UTILIZED ON THE PROJECT. COORDINATE INSTALLATION SEQUENCE
 D. AT CONTRACTORS OPTION, AT WOOD FLOORING INSTALLATIONS, USE WOOD TRANSITIONS OF MATCHING FINISH IN PLACE OF METAL STRIPS.

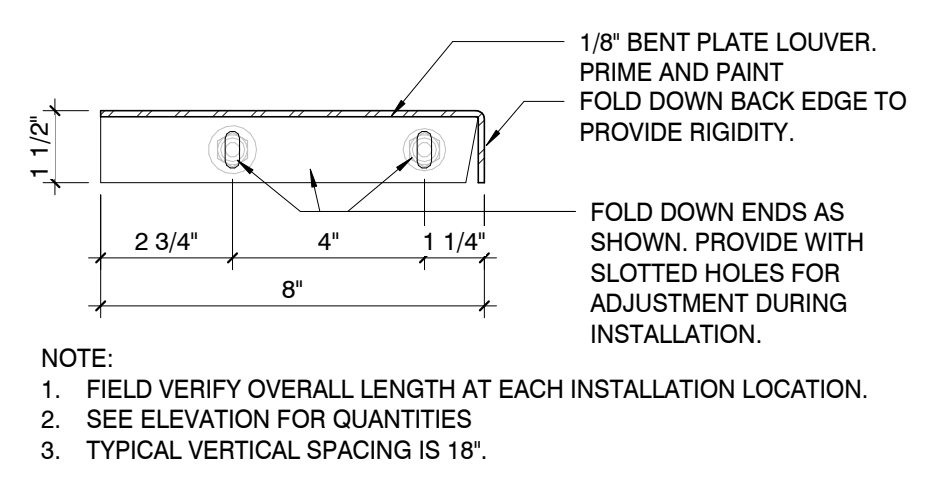
2 Flooring Transitions
 1:1



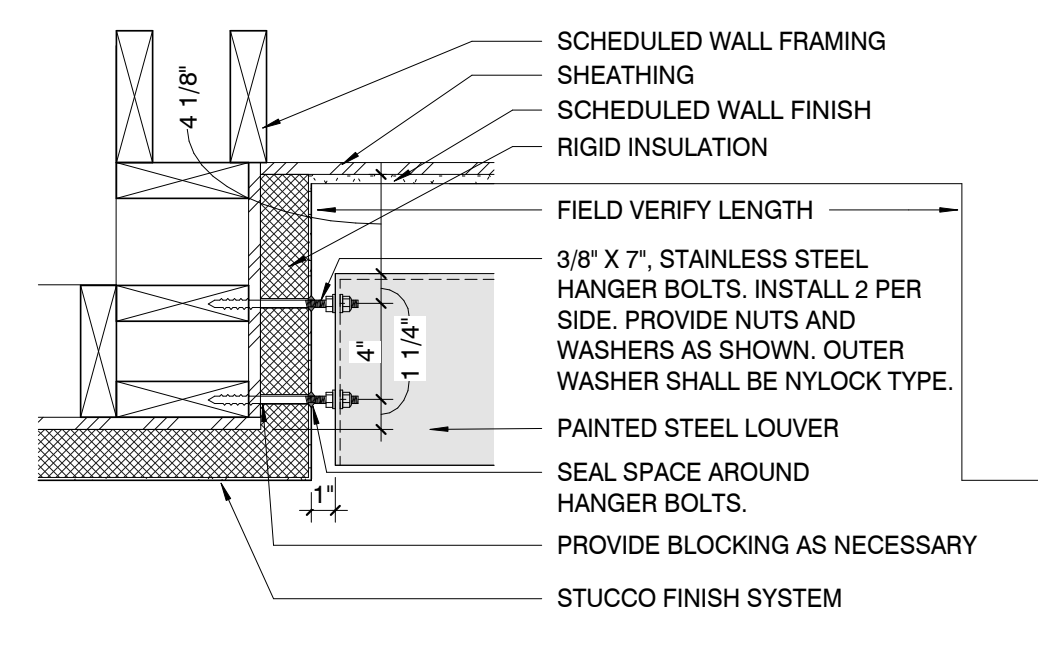
3 SPFR Roof Wall Transition
 3\"/>



7 Closet Shelf/ Rod
 3\"/>

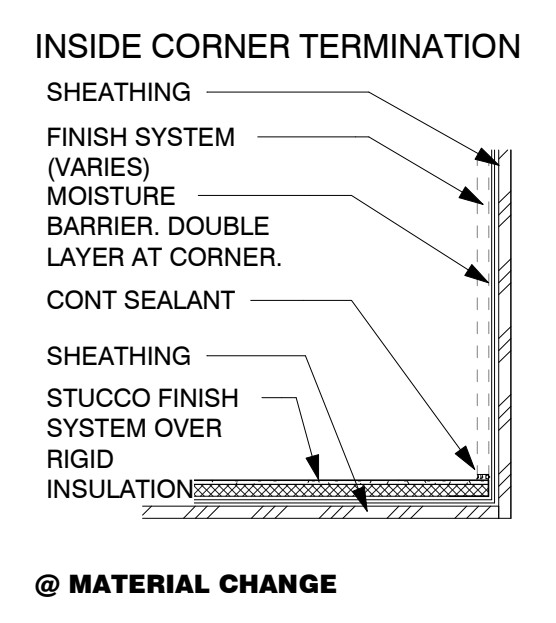
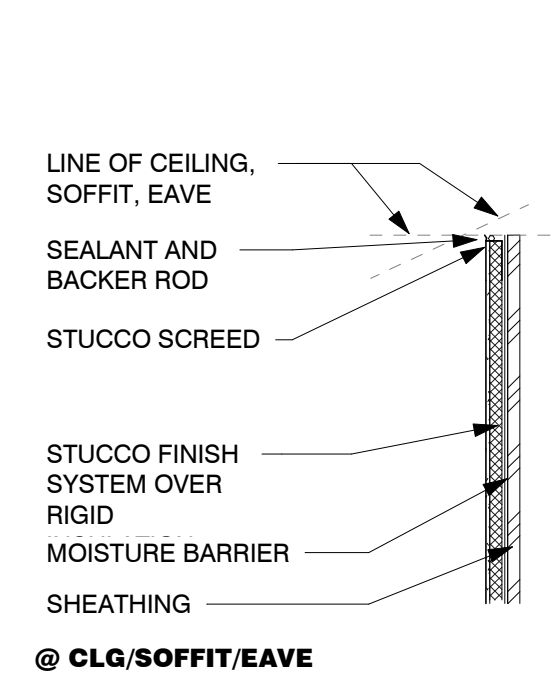


6 Horizontal Louver Section
 3\"/>



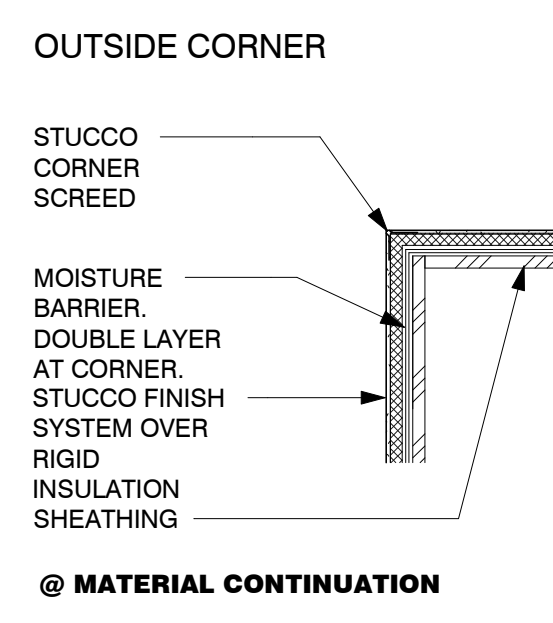
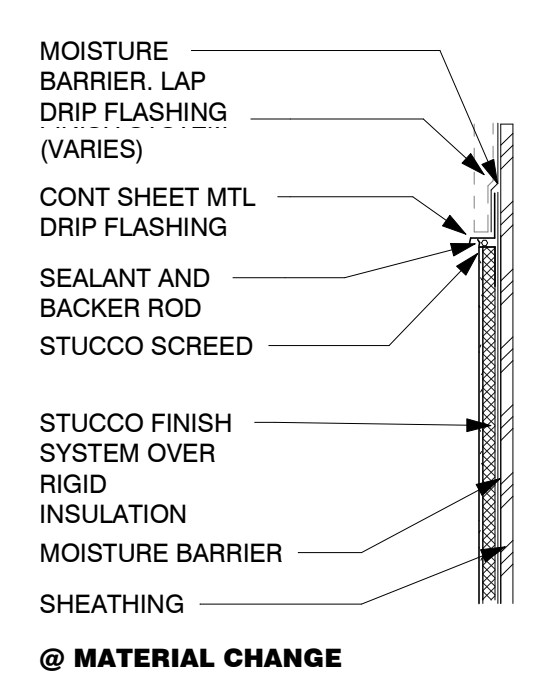
5 Horizontal Louver Jamb
 1 1/2\"/>

TOP EDGE TERMINATION



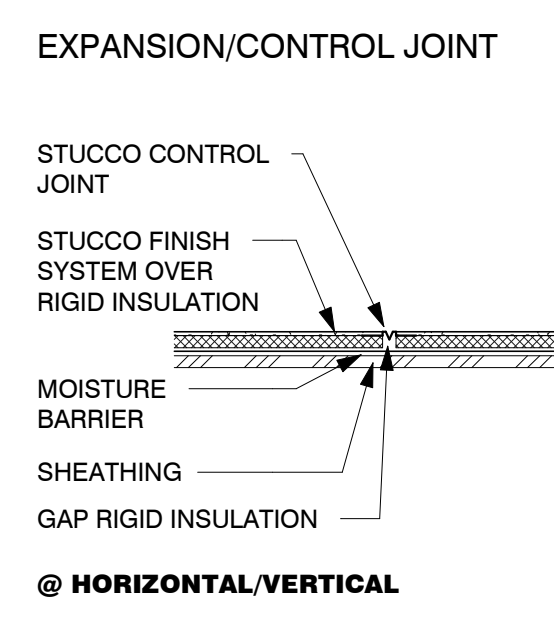
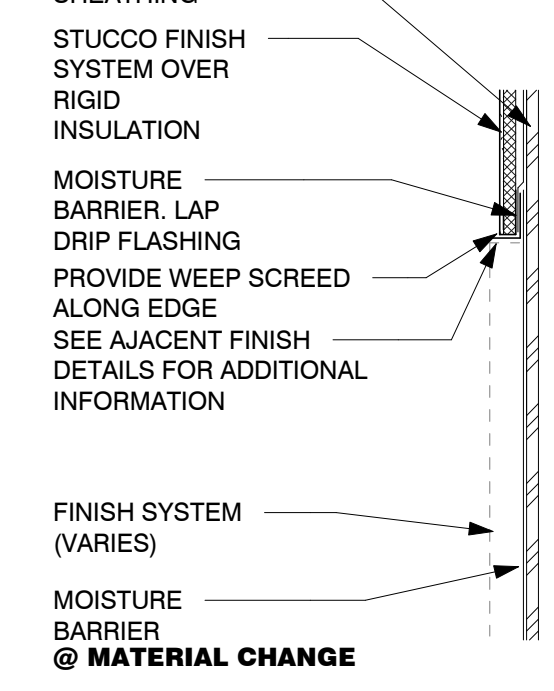
1 Stucco Details
 1 1/2\"/>

BOTTOM EDGE TERMINATION



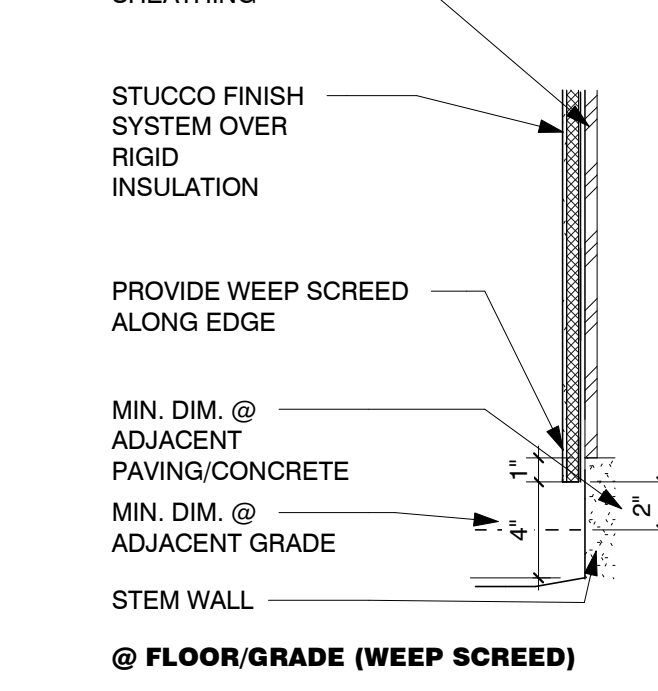
1 Stucco Details
 1 1/2\"/>

EXPANSION/CONTROL JOINT



1 Stucco Details
 1 1/2\"/>

STUCCO DETAILS



NOTES:
 1. SEE ELEVATIONS FOR EXENT OF FINISHES
 2. PROVIDE CONTROL JOINTS WHERE RECOMMENDED BY STUCCO SYSTEM MANUFACTURER.
 3. COORDINATE DETAILS SHOWN WITH MANUFACTURER'S SPECIFIC RECOMMENDATIONS.
 4. DO NOT OBSTRUCT OR OTHERWISE SEAL WEEP HOLES IN STUCCO SCREEDS.
 5. SUBSTRATE MAY BE MASONRY IN SOME INSTANCES. SEE PLAN
 6. SEE WINDOW AND DOOR DETAILS FOR ADDITIONAL DETAILING AS APPLICABLE

1 Stucco Details
 1 1/2\"/>

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