GOVERNING CODES

2015 INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 INTERNATIONAL MECHANICAL CODE (IMC) 2015 INTERNATIONAL PLUMBING CODE (IPC) 2015 INTERNATIONAL FUEL GAS CODE (IFGC)

2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

2014 NATIONAL ELECTRICAL CODE (NEC)

ALL CITY OF SCOTTSDALE CODES AND AMENDMENTS

SPECIAL INSPECTIONS

STRUCTURAL - CONCRETE CONSTRUCTION STRUCTURAL - POST INSTALLED ANCHORS

STRUCTURAL - MASONRY CONSTRUCTION

STRUCTURAL - WELDS NOT IN SHOP OF APPROVED FABRICATOR

STRUCTURAL - ANCHOR BOLTS SOILS - SPECIAL GRADING, EXCAVATION & FILL

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DEFERRED SUBMITTALS

SIGNAGE (UNDER SEPARATE PERMIT) WOOD TRUSS & CALCULATIONS FIRE SPRINKLERS/FIRE PROTECTION (UNDER SEPARATE PERMIT) SEE STRUCTURAL FOR ADDITIONAL DEFERRED SUBMITTALS

PROJECT DATA

BUILDING AND SITE BASICS:

PROJECT ADDRESS:

ASSESSORS PARCEL #:

NET LOT AREA: GROSS LOT AREA:

BUILDING AREA TOTAL FOOTPRINT: GROSS:

No. OF TOWNHOMES: 2 BEDROOM 1 BEDROOM

TOTAL

SITE INFORMATION: ZONING:

FLOOR AREA RATIO:

PROPOSED SETBACKS: FRONT

NORTH SIDE 0' REAR

MAX DENSITY:

PROPOSED DENSITY:

OPEN SPACE PRIVATE OPEN SPACE REQUIRED: PROVIDED: FRONTAGE OPEN SPACE PROVIDED:

23 DWELLING UNITS / ACRE 23 x 0.480 = 11.04 DU ALLOWED

6900 E 1ST AVENUE

130-11-055

130-11-056

5,178 S.F.

12,310 S.F.

MAX 1.30

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SCOTTSDALE, AZ, 85251

13,150 S.F., 0.302 ACRES

20,926 S.F., 0.480 ACRES

C-2 DO (DOWNTOWN)

12,310 / 13,150 = .91

12,310 x 0.10 = 1,231 SF 4,491 SF 1,127 SF

19' SOUTH SIDE 16' 5' 6 DWELLING UNITS



FLEETWOOD 6 TOWNHOMES

SCOTTSDALE, AZ



PROJECT DATA	
BUILDING CODE INFORMATIO	<u>N:</u>
BUILDING OCCUPANCY:	SINGLE-FAMILY ATTACHED RESIDENTIAL
STORIES:	3
Building Height: Allowed: Proposed:	66' 42'
AREA SEPARATIONS REQUIRED: PROVIDED:	1 HR (TABLE R302.1(2)) 1 HR
FIRE SPRINKLERS REQUIRED: FIRE SPRINKLERS PROVIDED:	
FIRE ALARM REQUIRED: FIRE ALARM PROVIDED:	NO NO
PARKING REQUIRED: PARKING PROVIDED: *NOTE: SEE SITE PLAN FOR LOO PROVIDED. NO BICYCLE PARKIN	1.7 X 6 UNITS = 10.2 10 STANDARD SPACES CATION OF ADAPTABLE ADA GARAGE NG REQUIRED OR PROVIDED
REQUIRED U-FACTORS: WOOD FRAME WALL: FLOOR: CEILING: SLAB: PROVIDE	R-21 R-13 R-38 R-0
REQUIRED FENESTRATION SHO	GC: 0.25

PROJECT CONSISTS OF A NEW BUILDING WITH SIX (6) SINGLE FAMILY ATTACHED UNITS. EACH UNIT CONSISTS OF A THREE STORY TOWNHOUSE UNIT WITH GARAGE ON THE GROUND FLOOR. TOWNHOUSE WILL BE DESIGNED AND CONSTRUCTED PER THE INTERNATIONAL RESIDENTIAL CODE.

PROJECT TEAM

OWNER: Blueprint Capital Services, LLC 5815 E. Calle Del Norte Phoenix, Arizona 85018 T. 206.909.6136

ARCHITECT:

Contact: Dan Duffus

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13452 N 76th Place Scottsdale, Arizona 82260 T. 602.918.0115

ELECTRICAL ENGINEER: Design Management Solutions 13452 N 76th Place Scottsdale, Arizona 82260 T. 602.918.0115

Contact: Andreas Pluntke

GF Group Structural Engineers

Contact: Lance D. Baker, AIA

MECHANICAL ENGINEER:

Contact: Andreas Pluntke

PLUMBING ENGINEER: Design Management Solutions

Contact: Andreas Pluntke

STRUCTURAL ENGINEER:

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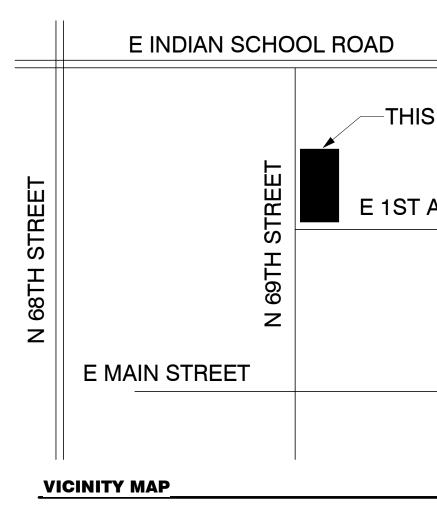
CONTACT: Devon Furstenau

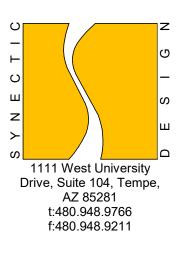
LANDSCAPE ENGINEER: T.J. McQueen & Associates, Inc. 10450 N 74th Street, Suite 120 Scottsdale, Arizona 85258 T. 602.265.0320

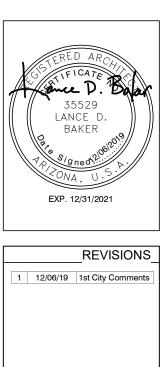
Contact: Tim McQueen RLA, ASLA

CIVIL ENGINEER: Land Development Group 8808 N Central Ave, Suite 288 Phoenix, Arizona 85020 T. 602.889.7984

Contact: Nick Prodanov, PE, PMP







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Phase:

Date:

12/06/2019



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	A0.2	ABBREVIATIONS, SYMBOLS & GENERAL NOTES
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	A2.1	1ST & 2ND FLOOR PLANS
	A2.2	3RD FLOOR & ROOF DECK
	A2.3	BOOF PLAN
	A3.1	UNITS 1 & 6 UNIT FLOORPLANS
	A3.1 A3.2	UNITS 1 & 6 REFLECTED CEILING PLANS
	A3.2 A3.3	UNITS 1 & 6 ENLARGED PLANS & INTERIOR ELEVATIONS
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SHEET INDEX

STANDARDS AND REGULATIONS:

- CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS AND SIMILAR STANDARDS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH COPIES OF ALL SUCH ITEMS TO OWNER AND ARCHITECT WITHIN TEN (10) DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR IF PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL
- NOTIFY ARCHITECT IMMEDIATELY. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF INSPECTIONS.
- IF APPLICABLE, CONTRACTOR SHALL FILE NOTICE OF INTENT WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA).
- CONTRACTOR SHALL COORDINATE WORK WITH APPLICABLE UTILITY PROVIDERS.
- CONTRACTOR SHALL BE FAMILIAR WITH REQUIREMENTS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-RATED ASSEMBLY TESTS AND STANDARDS
- IF UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED, CONTRACTOR SHALL CEASE WORK IN THE AREA AND CONTACT ARCHITECT AND OWNER IMMEDIATELY.
- MISCELLANEOUS SITE STRUCTURES, SWIMMING POOLS, FOUNTAINS, SPAS, FENCES, SITE WALLS (INCLUDING RETAINING WALLS), AND GAS STORAGE TANKS REQUIRE SEPARATE PERMITS.
- ALL PRODUCTS LISTED BY I.C.B.O./N.E.R. NUMBERS SHALL BE INSTALLED PER THE REPORT AND MANUFACTURER'S WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS FOR PRODUCTS LISTED SHALL ALSO HAVE I.C.B.O. APPROVED EVALUATION REPORTS OR BE APPROVED AND LISTED
- BY OTHER NATIONALLY RECOGNIZED TESTING AGENCIES.). WORK UNDER BASE BID OF THE CONTRACT SHALL INCLUDE ALL ITEMS INDICATED OR SPECIFIED UNLESS SPECIFICALLY INDICATED AS "NOT IN CONTRACT". NOTED "N.I.C." ALSO INCLUDED IS ANY AND ALL OFF-SITE WORK NECESSARY TO BRING WATER, SEWER, TELEPHONE, ELECTRICAL SERVICE AND OTHER UTILITIES SHOWN TO THE SITE, INCLUDING REPLACEMENT OF PAVING TO MEET REQUIREMENTS OF GOVERNING AUTHORITIES.
- ERRORS IN SPELLING OR WORK OMISSIONS IN THESE CONSTRUCTION DOCUMENTS SHALL IN NO WAY DAMAGE THE TRUE SPIRIT, INTENT OR MEANING OF THESE DOCUMENTS. REFERENCES TO SPECIFIC STANDARDS ARE INTENDED TO BE THE LATEST EDITION PRIOR TO THE DATE OF ISSUE TO THE SPECIFICATION.
- 2. SAFETY IN ALL PHASES OF CONSTRUCTION SHALL BE GOVERNED AT ALL TIMES BY PROVISIONS OF APPLICABLE LAWS.
- 3. CONTRACTOR SHALL COMPLY WITH, AND REQUIRE ALL SUB-CONTRACTORS TO COMPLY WITH APPLICABLE LICENSE LAWS AND BE DULY LICENSED THEREUNDER, AND HE SHALL ALSO COMPLY WITH THE PROVISIONS OF THE LATEST REVISIONS OF THE ARIZONA REVISED STATUTES, TITLE 32, CHAPTER 10
- . THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT SUB-CONTRACTORS ARE APPROVED APPLICATORS OF THE MANUFACTURER WHERE REQUIRED.
- . THE CONTRACTOR, REGARDLESS OF ANYTHING IN THESE CONTRACT DOCUMENTS, ACCEPTS THE RESPONSIBILITY OF A WATERTIGHT, WEATHERTIGHT PROJECT.

ADMINISTRATION OF THE WORK:

- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS,
- METHODS AND SEQUENCES OF CONSTRUCTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL
- CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS. CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH CONDITIONS RELATED TO THE WORK. LAY OUT WORK AS SOON AS POSSIBLE. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN AND PROTECT SYSTEMS AND FINISHES. ANY DAMAGES TO SUCH FINISHES SHALL BE IMMEDIATELY REPAIRED IN A MANNER ACCEPTABLE TO THE ARCHITECT. IF SATISFACTORY REPAIRS CANNOT BE MADE, CONTRACTOR SHALL REPLACE SYSTEMS AND FINISHES WITH LIKE NEW QUALITY CONSTRUCTION ACCEPTABLE TO THE ARCHITECT. ALL REPAIRS AND REPLACEMENT
- COSTS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER (AND BUILDING OWNER, IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL, USE OF STAIRS AND ELEVATORS, REMOVAL OF WINDOWS, LOCATION OF CHUTES AND DUMPSTERS, ETC. PRIOR TO REMOVAL OF DEBRIS. CONTRACTOR SHALL CLEAN AND REPAIR ANY DAMAGES TO EXISTING SYSTEMS SOILED OR DAMAGED BY DEBRIS REMOVAL PROCESS. IF CLEANING AND REPAIR DOES NOT RETURN SYSTEMS TO ORIGINAL CONDITION CONTRACTOR SHALL INSTALL NEW SYSTEMS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH OWNER'S (OR BUILDING OWNER'S) PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.
- EACH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH AFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION, THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. INSTALLATION SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.
- CONTRACTOR SHALL MAINTAIN PERMITTED CONSTRUCTION DOCUMENTS AND ALL RECORD DOCUMENTS ON SITE AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORD'N. EFFORTS
- OF ALL SUBCONTRACTORS. 0. ALL BUILDINGS SHALL BE TESTED FOR EMERGENCY RADIO STRENGTH AT FRAMING STAGE OF CONSTRUCTION. PLEASE COORDINATE INSPECTIONS WITH RADIO SYSTEMS NETWORK INTEGRATORS AT 480-312-7263 uuuuuuuu

ISE OF CONSTRUCTION DOCUMENTS:

- THE "CONSTRUCTION DOCUMENTS" CONSIST OF ALL DRAWINGS LISTED IN THE INDEX LOCATED ON THE COVER SHEET OF THIS DRAWING SET AS WELL AS THE ACCOMPANYING WRITTEN SPECIFICATIONS.
- ALL WORK SHALL BE BID FROM COMPLETE SETS OF CONSTRUCTION
- DOCUMENTS. PARTIAL SETS SHALL NOT BE ISSUED. CONTRACTOR SHALL NOT SCALE DRAWINGS, ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED. CONTACT ARCHITECT IF
- CLARIFICATION OR ADD'L. INFORMATION IS REQUIRED. THE DRAWINGS ARE SCHEMATIC IN NATURE. MODIFICATIONS IN DUCTS,
- PIPING, CONDUIT AND WIRING MAY BE REQUIRED TO ACCOMMODATE ACTUAL FIELD CONDITIONS. DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR
- PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO THE CONTRACTOR WITHOUT APPROVAL OF ARCHITECT. DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE: A. TO FACE OF STUD OF PARTITION OR EXTERIOR WALL.
- B. TO CENTERLINE OF COLUMNS.
- C. TO TOP OF STRUCTURAL FLOOR.
- D. TO BOTTOM OF FINISHED CEILING. E. BETWEEN GRIDLINES
- F. TO FACE OF CMU
- WHERE DUPLICATE STANDARDS OR REQUIREMENTS ARE PROVIDED IN THESE CONSTRUCTION DOCUMENTS. THE MOST STRINGENT STANDARD OR REQUIREMENT THAT COMPLIES WITH THE APPLICABLE BUILDING CODE SHALL APPLY.
- REFER TO ELECTRICAL, MECHANICAL, PLUMBING, LANDSCAPE & STRUCTURAL DRAWINGS FOR ADDITIONAL ITEMS AND REQUIREMENTS. DEFINITIONS:
- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE WITHOUT ANY VISIBLE
- JOINTS OR SURFACE IRREGULARITIES. "CLEAR" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.

DEFINITIONS:

- "MAXIMUM" OR "MAX" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY GREATER THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
- "MINIMUM" OR "MIN" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT
- APPROVAL OF THE ARCHITECT. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT
- "±" AS USED IN THESE DOCUMENTS SHALL MEAN THE DIMENSION OR QUALITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.
- NOTES DESCRIBED AS "GENERAL" APPLY TO ALL RELEVANT ASPECTS OF THE PROJECT, WHETHER OR NOT THERE ARE SPECIFIC REFERENCES IN THE CONSTRUCTION DOCUMENTS.

MATERIALS:

- ALL DISSIMILAR METAL MATERIALS SHALL BE ISOLATED WITH A NON-
- METALLIC SEPARATOR ALL MATERIALS USED IN AIR DISTRIBUTION/ RETURN SHALL HAVE A FLAME-SPREAD RATING OF 25 AND SHALL BE APPROVED BY LOCAL BUILDING
- CODE AUTHORITIES. ALL MATERIALS USED IN FIRE- RATED ASSEMBLIES SHALL BE APPROVED BY U.L. OR OTHER RECOGNIZED STANDARD FOR USE IN SUCH
- ASSEMBLIES. ALL STEEL PRODUCTS USED IN THE EXTERIOR WALLS SHALL BE
- STAINLESS OR GALVANIZED. ALL EXTERIOR STEEL SHALL BE GALVANIZED UNLESS NOTED OR SPECIFIED OTHERWISE. ALL SHEET METAL FLASHINGS SHALL ALLOW FOR THERMAL MOVEMENT OF
- THE MATERIAL WITHOUT DEFLECTION AND OILCANNING. ALL FOUNDATION PLATES, SILLS AND SLEEPERS ON A CONCRETE SLAB WHICH IS IN DIRECT CONTACT WITH THE EARTH, & SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD OR
- FOUNDATION REDWOOD, ALL MARKED AND BRANDED BY AN APPROVED AGENCY ALL LUMBER MUST BEAR AN APPROVED GRADING STAMP.
- LATH MUST BE CORROSION RESISTANT AND SHALL COMPLY WITH REQUIREMENTS OF APPROPRIATE STANDARDS INDICATED IN I.B.C. TABLE 2507.2 LATH SHALL BE A MINIMUM 1 INCH 20 GA. GALVANIZED WIRE FABRIC LATH.
- FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 6" ABOVE ADJACENT GRADE.
- . EXTERIOR WALL PENETRATIONS BY PIPES, DUCTS, OR CONDUITS SHALL BE CAULKED.
- . MINIMUM INSULATION SHALL BE: EXT. WALLS R-13, CEILINGS R-38. 2. WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE BY A MINIMUM 5/8" TYPE "X" GYPSUM BOARD.
- 3. EXTERIOR LOCATIONS SHALL NOT USE GYPSUM WALLBOARD ON THE CEILING UNLESS THERE IS 12" OF PROTECTION BY A BEAM OR WALL OR HORIZONTAL DISTANCE OF 10 FEET. IT IS NECESSARY TO USE AN EXTERIOR MATERIAL SUCH AS SOFFIT BOARD APPROVED FOR THE LOCATION.
- 4. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD NONABSORBENT SURFACE, SUCH AS CERAMIC TILE, TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE DRAIN INLET. WHEN GYPSUM WALLBOARD IS USED AS A TILE BASE OR WALL PANELS, WATER RESISTANT GYPSUM WALLBOARD SHALL BE USED. WATER RESISTANT GYPSUM WALLBOARD SHALL NOT BE USED OVER A VAPOR RETARDER, IN AREAS OF HIGH HUMIDITY, OR ON CEILINGS WHERE FRAME SPACING EXCEEDS 12 INCHES ON CENTER
- 5. PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON ALL GARAGE & MECHANICAL ROOM CEILINGS AND WALLS, U.N.O.
- 6. GLASS AT SHOWER ENCLOSURES SHALL BE TEMPERED OR APPROVED EQUAL WITH A MINIMUM 22" CLEAR OPENING. 7. GLASS WITHIN HAZARDOUS AREAS; I.E.: a. ALL GLASS WITHIN 18" OF THE
- FLOOR; b. ALL GLASS WITHIN 5' OF WATER (POOL) SHALL BE SAFETY GLASS 8. STUCCO SYSTEM SHALL MEET STANDARDS SET BY ICC-ES ESR #1607 19. A MINIMUM 0.021" (26 GA.) CORROSION RESISTANT WEEP SCREED WITH A MINIMUM OF 3" ABOVE THE GRADE AND SHALL BE A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER RESISTIVE BARRIER AND EXTERIOR LATHE SHALL COVER
- AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. D. ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURER-APPROVED INSTALLERS. AN APPROVED WEATHER-RESISTIVE BARRIER SHALL BE INSTALLED OVER THE WOOD BASED SHEATHING.

BUILDING CODE GENERAL NOTES:

- REFER TO CIVIL DRAWINGS FOR GRADING, DRAINAGE AND ADDITIONAL
- TOPOGRAPHIC INFORMATION. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES 5% MINIMUM
- FOR THE FIRST 10'. AN APPROVED GRADING & DRAINAGE PLAN SHALL BE KEPT ON SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN
- APPROVED REVISION REFER TO CIVIL FOR UTILITY INFORMATION. CONTRACTOR TO PROVIDE SOIL COMPACTION TEST RESULTS AS REQUIRED TO THE CITY ENGINEER'S
- OFFICE. COORDINATE WITH ALL UTILITY COMPANIES FOR FINAL LOCATION OF METERS, DEVICES, AND ROUTING. CONTRACTOR TO PROVIDE ALL REQUIRED MATERIAL AND LABOR FOR INSTALLATION OF ALL REQUIRED UTILITIES.
- CONSTRUCTION AREA TO BE STAKED AND FENCED AT LINE OF DISTURBANCE. NO DISTURBANCE OF THE DESERT WILL BE ALLOWED BEYOND THIS LINE. SEE CIVIL DRAWINGS FOR BUILDING ENVELOPE & N.O.S. CALCULATIONS AND LOCATIONS.
- MAINTAIN A MINIMUM DISTURBANCE OF SITE DURING CONSTRUCTION. EXCESS FILL DIRT (IF ANY) TO BE HAULED AWAY OR DISPOSED OF PER THE OWNER'S REQUEST.
- VERIFY WITH THE OWNER THE DEMOLITION OR RELOCATION OF ALL EXISTING LANDSCAPE MATERIALS AND SITE ITEMS PRIOR TO
- COMMENCEMENT OF NEW CONSTRUCTION. . CONTRACTOR SHALL FIELD VERIFY ALL SITE ITEMS AND THE COORDINATION OF NEW CONSTRUCTION WITH ZONING SETBACK REQUIREMENTS.
- 1. VERIFY ALL GRADES IN FIELD.
- 2. SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY WITH 4" CONCRETE SLAB OVER 4" A.B.C. 13. WATERPROOF ALL PLANTERS AND RETAINING WALLS.
- 14. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED, WHERE APPLICABLE, A MINIMUM OF 1'-0" HIGHER THAT THE HIGHEST PORTION OF THE EQUIPMENT, AND SHALL MATCH THE ADJACENT BUILDING MATERIAL.
- 5. PROVIDE A LISTED AND APPROVED BBQ UNIT, IF APPLICABLE, INSTALLED PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS. BBQ UNIT SHALL CONFORM TO ANSI Z21.58-1993 AND SHALL BE APPROVED BY A NATIONALLY RECOGNIZED TESTING AGENCY.
- 6. OPENABLE AREA OF 5.7 SQUARE FEET AND A MINIMUM HEIGHT OF 24 INCHES AND A MINIMUM WIDTH OF 20 INCHES. SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE FINISH FLOOR.
- . PROVIDE A MINIMUM OF 30 INCHES CLEAR (WIDE) BETWEEN FINISHED WALLS AT WATER CLOSET. THERE SHALL BE 15 INCHES CLEAR FROM THE CENTER LINE OF THE WATER CLOSET TO THE CLOSEST FINISHED WALL.
- THERE SHALL BE 24 INCHES CLEAR IN FRONT OF THE WATER CLOSET. . THE TOP OF HANDRAILS AND HANDRAIL EXTENSIONS SHALL NOT BE PLACED LESS THAN 34 INCHES NOR MORE THAN 38 INCHES ABOVE LANDINGS AND THE NOSING OF TREADS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

BUILDING CODE GENERAL NOTES:

. REQUIRED EXITS: A) ALL EXITS TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE: B) MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED AT A DOOR OR THE ACTIVE LEAF OF A PAIR OF DOORS.

2. LATERAL FORCE RESISTING FRAME WALLS SHALL COMPLY WITH I.R.C. SECTION R602.3. SEE STRUCTURAL DRAWINGS FOR METHOD USED. IF NOT SPECIFIED USE MINIMUM 1/2" STRUCTURAL SHEATHING ON ENTIRE EXTERIOR OF STRUCTURE.

23. PROVIDE FIRE SPRINKLER SYSTEM AS REQUIRED. 24. DOORS LEADING INTO THE HOUSE FROM THE GARAGE SHALL BE SELF-CLOSING, TIGHT FITTING SOLID DOORS WITH GASKETS AND SWEEP

IVAC GENERAL NOTES:

REGISTERS, DIFFUSERS AND GRILLES SHALL BE MECHANICALLY FASTENED TO RIGID SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUCTWORK THEY SERVE

THE CLOTHES DRYER SHALL BE PROVIDED WITH A 4" DIAMETER EXHAUST DUCT TO THE EXTERIOR AND SHALL NOT EXCEED A TOTAL LENGTH OF 14', UNLESS AN ENGINEERED DUCT SYSTEM IS PROVIDED. THE DUCT SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE OR FROM OPENINGS INTO A BUILDING. CONTRACTOR SHALL SUBMIT SHOP DWGS. OF ALL MECHANICAL WORK PRIOR TO FABRICATION FOR ARCHITECTURAL

LIGHTING LOCATION TAKES PRECEDENT OVER REGISTERS, DIFFUSERS AND GRILLES. ADJUST HVAC EQUIPMENT LOCATION RATHER THAN LIGHTS. ELECTRICAL GENERAL NOTES:

PROVIDE GFI RECEPTACLES WITHIN 6' OF ALL LAVS, SINKS AND BASINS AS WELL AS ALL EXTERIOR, BATHROOM & GARAGE LOCATIONS. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6' MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL

SPACE 2' OR MORE IN WIDTH. FIXTURES LOCATED IN DAMP OR WET LOCATIONS SHALL BE "LISTED" TO BE SUITABLE FOR SUCH LOCATION. ALL FIXTURES INSTALLED OUTSIDE MUST

BE SUITABLE FOR DAMP LOCATION. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS

PROVIDE A SEPARATE 20-AMPERE BRANCH CIRCUIT TO THE LAUNDRY. PROVIDE A MIN. OF TWO 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS

FOR THE KITCHEN/DINING/BREAKFAST. THE TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS SHALL HAVE NO OTHER OUTLETS, EXCEPT THE RECEPTACLE INSTALLED SOLELY FOR ELECTRICAL SUPPLY TO AN ELECTRICAL CLOCK IN THE KITCHEN/DINING/BREAKFAST AREAS OR RECEPTACLES FOR SUPPLEMENTAL EQUIPMENT AND LIGHTING FOR GAS-FIRED RANGES,

OVENS OR COUNTER-MOUNTED UNITS. RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYERS SHALL BE A 3-POLE WITH GROUND TYPE. FOUR-WIRE, GROUNDING-TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE. PROVIDE A GROUNDING ELECTRODE OF NOT LESS THAN 20' OF #4 BARE

COPPER (200 AMP SERVICE). PROVIDE BONDING TO THE WATER PIPING, GAS & METAL BLDG. SYSTEMS

(MIN. #4 FOR 200 AMP SERVICE). . EXISTING OUTLETS AND SWITCHES ARE NOT SHOWN. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES IN THE FIELD. 12. SMOKE DETECTORS SHALL BE INSTALLED AT A POINT CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA AND BE A MINIMUM OF 3'-0" FROM ALL DUCT OPENINGS. EACH SMOKE DETECTOR SHALL BE PERMANENTLY WIRED AND

INTERCONNECTED WITH BATTERY BACK-UP. 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL AND NATIONAL ELECTRICAL CODES.

4. ALL WIRE SHALL BE COPPER.

5. ELECTRICAL CONTRACTOR SHALL PROVIDE PRIMARY AND SECONDARY OVERCURRENT PROTECTION FOR ALL 12-VOLT TRANSFORMERS. 3. ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL LIGHTING EQUIPMENT WITH THE GENERAL CONTRACTOR AND ANY APPLICABLE SUBCONTRACTOR (I.E., FRAMING, MECHANICAL, CABINETRY, ETC.). PRIOR TO ROUGH-IN, PROVIDE AND INSTALL SOLID WOOD BLOCKING FOR ALL FIXTURES IN DRYWALL CEILINGS

FOR SECURE SOLID ATTACHMENT OF DEVICES. . ALL SUBSTITUTIONS TO BE APPROVED IN WRITING BY THE OWNER. 8. PRIOR TO DRYWALL, ALL ADJUSTABLE FIXTURES TO BE VERIFIED AFTER ROUGH-IN INSTALLATION IN FIELD BY THE ARCHITECT AND OWNER.

9. ALL RECESSED TRIMS AND/OR TRIM RINGS TO BE PAINTED TO MATCH PAINT COLOR OR WOOD STAIN OF CEILING IN ROOM. 20. ALL DEVICES (I.E., RECEPTACLES, PHONE JACKS, TV JACKS, ETC.) AT NEW AND EXISTING LOCATIONS SHALL BE DECORA STYLE. COLOR TO BE

SELECTED. LOCATION OF ALL DEVICES (ABOVE) SHALL BE VERIFIED IN FIELD BY OWNER/ARCHITECT AND INSTALLED PER CODE. OUT LET BOXES IN THE WALL BETWEEN THE RESIDENCE AND GARAGE SHALL BE METAL OR UL APPROVED FIRE RESISTIVE PLASTIC. OUTLET

BOXES IN GARAGE CEILING SHALL BE METAL. 2. AUDIO/VISUAL, SOUND SYSTEM AND SECURITY SYSTEM SHALL BE PRE-WIRED BY GENERAL CONTRACTOR. LOCATIONS TO BE DETERMINED ON SITE BY ARCHITECT, OWNER AND CONSULTANT.

3. PRE-WIRE FOR ROOF-MOUNTED SATELLITE TELEVISION SYSTEM TO BE COORDINATED WITH OWNER/ARCHITECT 4. ALL LAMPS MUST BE ELECTRIC. WHERE HALOGEN LAMPS ARE SPECIFIED,

USE MR-16 GE CONSTANT COLOR SERIES. IMPROPER LAMPS TO BE REPLACED AT CONTRACTOR'S EXPENSE. 5. ALL FIXTURES IN CLOTHES CLOSETS SHALL COMPLY WITH NEC 410-8

REGARDING DISTANCES FROM STORAGE AREA AND TYPE OF FIXTURE (COVERED REQUIRED). 26. ELECTRICAL BOXES WHICH SUPPORT CEILING FANS TO BE UL LISTED FOR

FAN SUPPORT. 27. INSTALL ALL RECEPTACLES CENTERED AT 15" A.F.F. PER CODE.

28. ALL SWITCHES AND DIMMER DEVICES TO BE CENTERED AT 40" A.F.F. 29. ELECTRICAL CONTRACTOR TO BUDGET FOR INSTALLATION OF ALL LENSES AND LOUVERS SPECIFIED ON THE FIXTURE SCHEDULE. 30. THESE DRAWINGS REPRESENT A SCHEMATIC ELECTRICAL/LIGHTING

LAYOUT ONLY. FIXTURES INDICATED ARE NOT DRAWN TO SCALE. **PLUMBING GENERAL NOTES:**

PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING CONSERVATION REQUIREMENTS: INSTALLATION OR REPAIR OF ANY PLUMBING. WATER CLOSETS (TANK TYPE): 1.6 GALLONS PER FLUSH. SHOWER HEADS: 2.75 GALLONS PER MINUTE. LAVATORY SINK FAUCET: 3 GALLONS PER MINUTE WITH AERATOR. WATER TREATMENT SYSTEMS:

EQUIP WITH AUTOMATIC SHUTOFF TO PREVENT CONTINUOUS FLOW WHEN NOT IN USE. EVAP. COOLERS: MUST HAVE RECIRCULATING PUMPS. HOT WATER SHALL BE THE LEFT FITTING AT ALL FAUCETS. PROVIDE AN EXPANSION TANK AT THE WATER HEATER IF A BACKFLOW PREVENTER IS ON OR TO BE INSTALLED ON THE WATER LINE OR AT THE

METER SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.

DOMESTIC DISHWASHING MACHINES CONNECTED TO A DISPOSAL SHALL HAVE THE DISCHARGE INSTALLED AS HIGH AS POSSIBLE. NOT LOWER THAN 2" ABOVE THE FLOOD RIM OF THE SINK.

SOLDERS AND FLUX HAVING A LEAD CONTENT IN EXCESS OF TWO TENTHS OF ONE PERCENT SHALL NOT BE USED IN THE INSTALLATION OR REPAIR OF ANY PLUMBING.

FIREBLOCKING NOTES:

- FIREBLOCKING SHALL COMPLY WITH I.R.C SECTION R302.11 AND SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS.
- FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
- A. VERTICALLY AT THE CEILING AND FLOOR LEVELS; B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS, AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION. THE INTEGRITY OF ALL FIREBLOCKING, AND DRAFT STOPS SHALL BE MAINTAINED
- FLOOR-CEILING ASSEMBLIES WITH A CONCEALED SPACE IN EXCESS OF 1000 SQUARE FEET SHALL HAVE DRAFT STOPS INSTALLED THAT DIVIDE THE
- CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS EXCEPT AS PROVIDED IN SECTION R302.11, ITEM 4, FIREBLOCKING SHALL CONSIST OF THE FOLLOWING MATERIALS
- A. 2" (51MM) NOMINAL LUMBER B. TWO THICKNESSES OF 1" (25.4MM) NOMINAL LUMBER WITH BROKEN
- LAP JOINTS C. ONE THICKNESSES OF 23/32" (18.3MM) WOOD STRUCTURAL PANELS
- WITH JOINTS BACKED BY 23/32" (18.3MM) WOOD STRUCTURAL PANELS D. ONE THICKNESS OF 3/4" (19.1MM) PARTICLEBOARD WITH JOINTS
- BACKED BY 3/4" (19.1MM) PARTICLEBOARD
- E. ONE 1/2" (12.7MM) GYPSUM BOARD F. ONE 1/4" (6.4MM) CEMENT BASED MILLBOARD
- G. BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE
- H. CELLULOSE INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION

SLOPE SYMBOL

LEVEL CHANGE SYMBOL

ROOM TAG

LEVEL TAG

NORTH ARROW

COMBINATION SMOKE / CARBON MONOXIDE

SYMBOL LEGEND

ELEVATION SYMBOL

SECTION SYMBOL

DETAIL OR ENLARGED PLAN SYMBOL

ARCH TAG DOOR TAG

WINDOW TAG

WALL TAG STOREFRONT TAG KEYNOTE TAG FINISH TAG

ACCESSORY TAG

SPOT ELEVATION TAG

FLOORING TRANSITION SYMBOL

	DRAWING NUMBER
.1	VIEW DIRECTION
SIM	
(A101)	INFO
	SHEET NUMBER
	VIEW DIRECTION
SIM	INFO
A101	DRAWING NUMBER SHEET NUMBER
	REFERENCE AREA
	INFO
A101	DRAWING NUMBER SHEET NUMBER
#	MARK
//	TYPE MARK
A 100	MARK
A	TYPE MARK
[100]	MARK
1' - 0" 1' - 0"	SIZE
	TYPE MARK
	TERMINATION MARK
11	MARK
(#)	MARK
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	MARK
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	MARK
	ELEVATION
● 0-0 A.F.F.	REFERENCE
	LINE OF TRANSITION
222 222	MATERIAL 1
<u> </u>	MATERIAL 2
SLOP	DIRECTION DOWN
?/12	SLOPE
?"	LINE OF TRANSITION
	ELEVATION CHANGE
Room name	NAME
	MARK
150 SF	AREA
	LEVEL NAME
Name	
levation	
	ELEVATION
lout	

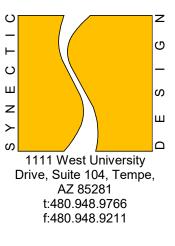
AC	AIR CONDITIONING
ACT	ACOUSTIC CEILING TILE
ADAAG	AMERICANS WITH DISABLITIES ACT ARCHITECTURAL GUIDELINES
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AH	AIR HANDLER
AHJ	AUTHORITY HAVING JURISDICTION
ALUM	ALUMINUM
ALT	ALTERNATE
APPROX	APPROXIMATELY
ARCH	ARCHITECTURAL
BD	BOARD
BO	BOTTOM OF
CAB	CABINET
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLO	CLOSET
CLR	CLEAR
COL	COLUMN
COMP	COMPOSITE
COND	CONDENSER
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CPT	CARPET
CT	CERAMIC TILE
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPOSAL
DN	DOWN
DWG	DRAWING
EF	EXHAUST FAN
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP EXIST	
EXP EW	
FEC	FIRE EXTINGUISHER CABINET
FIN FLUOR	
FR	FIRE RESISTANT
FRP	FIBERGLASS REINFORCED PANEL
FTG	FOOTING
FURN,F	FURNACE
GL	GLASS GYPSUM BOARD
HB	HOSE BIBB
HH	HARDWARE HAND HELD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HGT	HEIGHT
	INCANDESCENT INSULATION
LAUN	
LB	POUND
LIN	LINEN
MAX	MAXIMUM
MC	MEDICINE CABINET
MECH	MECHANICAL
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MR	MOISTURE RESISTANT
MTD,MTG	MOUNTED, MOUNTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
PERP PL	PERPENDICULAR
	PLASTIC LAMINATE
PLYWD	PLYWOOD
PTD	PAINTED
PWDR	POWDER
	RADIUS REFRIGERATOR
	REFLECTED CEILING PLAN ROUGH OPENING
RS	ROUGH SAWN
SES	SERVICE ENTRY SECTION
SC	SOLID CORE
SHT	SHEET
SHTG	SHEATHING
SHV	SHELF(VES)
SIM	SIMILAR
SJ	SAWCUT JOINT
SS	STAINLESS STEEL
STRUCT	STRUCTURAL
STL	STEEL
TEL	TELEPHONE TOP OF
TOW	TOP OF WALL
T, TEMP	TOILET PAPER DISPENSER TEMPERED
	TYPICAL UNLESS NOTED OTHERWISE
UR	URINAL
VAC	VACUUM
VCT	VINYL COMPOSITE TILE VERTICAL
VIF	VERIFY IN FIELD
WB	VINYL WALL COVERING WALL BASE
WC	WATER CLOSET
WD	WOOD
WH	WATER HEATER
WR	WATER RESISTANT
WWF	WELDED WIRE FABRIC

ABBREVIATIONS

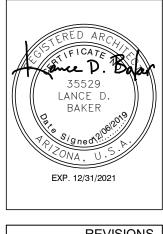
ABC

AGGREGATE BASE COURSE

ANCHOR BOLT



6



REVISIONS 12/06/19 1st City Commer Phase

Reviewd B

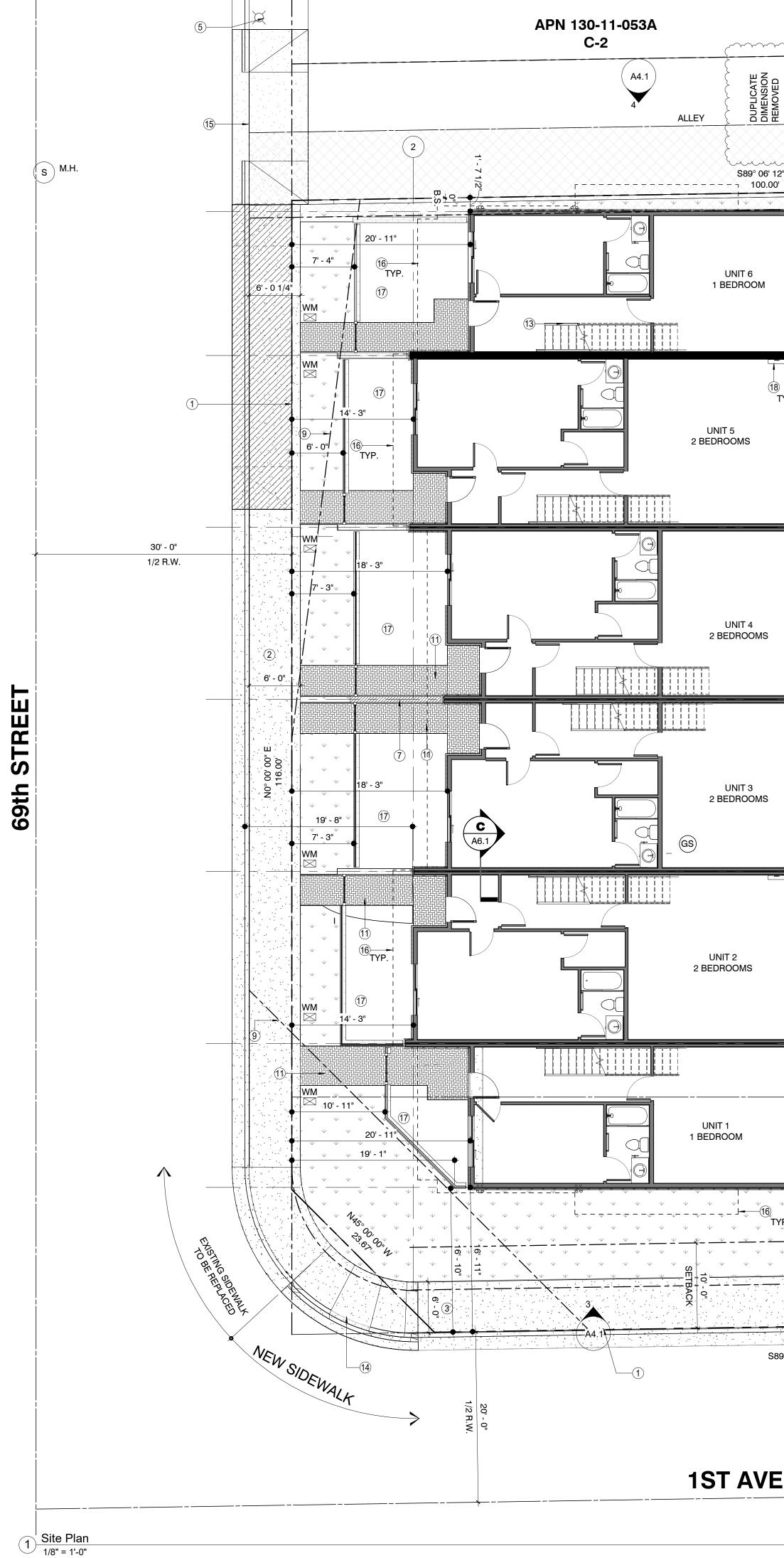
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NOTES

SYMBOLS & GENERAL



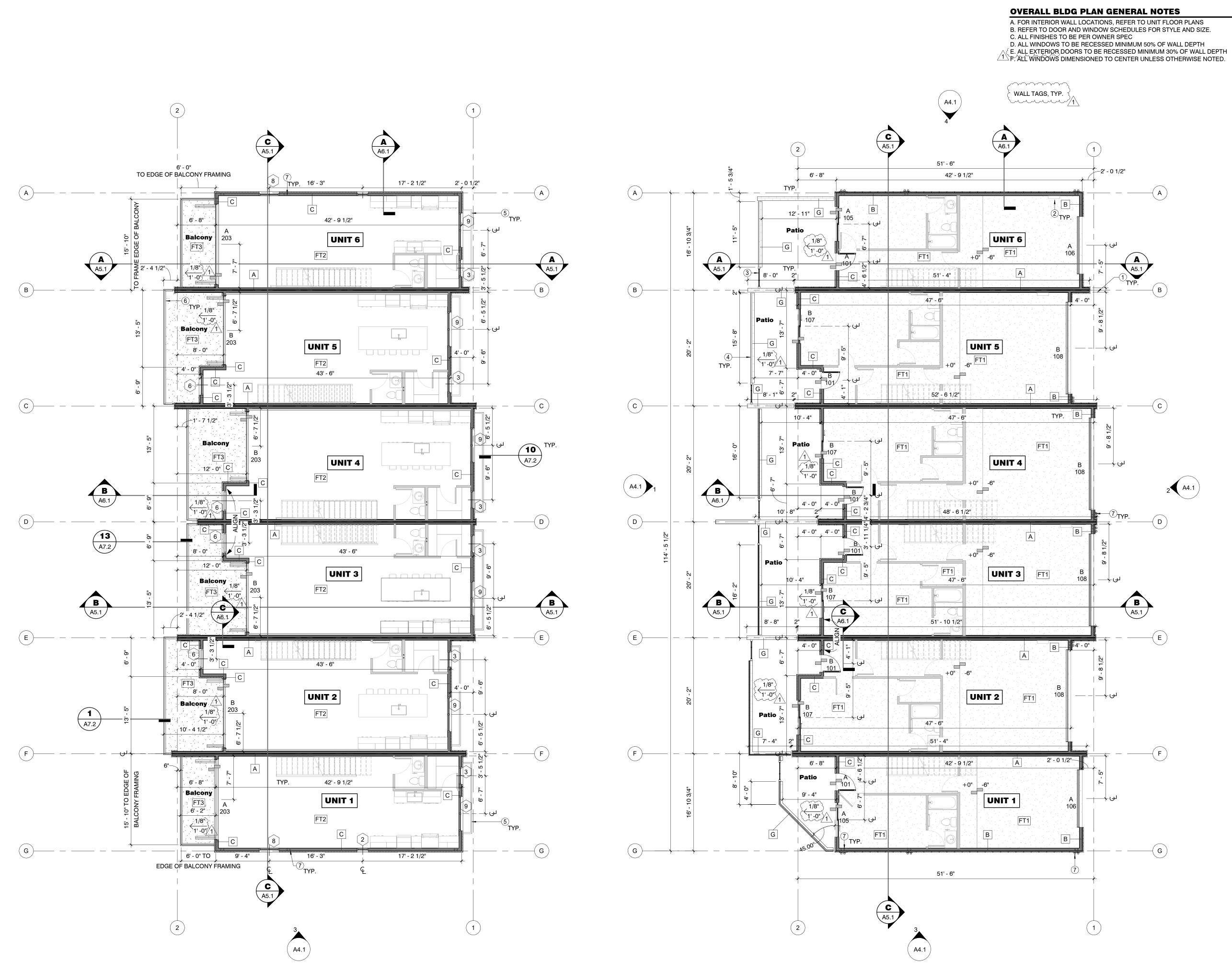
SITE PLAN GENERAL NOTES A. CONTRACTOR SHALL IMMEDIATELY INFORM THE ARCHITECT IN WRITING OF ANY DISCREPANCY BETWEEN THE SITE CONDITIONS AND THESE DOCUMENTS THAT WILL IMPACT COMPLIANCE WITH THESE DOCUMENTS. B. FINISH FLOOR SHALL BE A MINIMUM OF 6" ABOVE ADJACENT GRADE U.O.N. C. FINISH GRADE SHALL SLOPE 5% FOR A DISTANCE OF 10' TO AN APPROVED WATER DISPOSAL AREA. U.O.N. D. FIRE TRUCK TURNING RADIUS SHALL COMPLY WITH FIRE ORDINANCE 4045. 503.2.1 AND PROVIDE UNOBSTRUCTED VERTICAL CLEARANCE OF NOT ELECTRICAL ENGINEER: LESS THAN 13 FEET 6 INCHES. Design Management Solutions E. INTERNAL DRIVE AISLE TO SUPPORT 83,000 LBS OF GROSS VEHICLE AZ 85281 13452 N 76th Place WEIGHT (PER SECTION 2-1.802 OF DSPM) t:480.948.9766 Scottsdale, Arizona 82260 F. NO PROTECTED TREES ON SITE. f:480.948.9211 T. 602.918.0115 G. WATER METER LOCATION TO BE CONFIRMED WITH CIVIL PLANS. H. REFER TO LANDSCAPING PLANS FOR DETAILS, MATERIALS AND LAYOUT. Contact: Andreas Pluntke STRUCTURAL ENGINEER: **GOVERNING CODES** GF Group Structural Engineers 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) 16597 N. 92nd St., Suite 111 2015 INTERNATIONAL MECHANICAL CODE (IMC) Scottsdale, AZ 85260 2015 INTERNATIONAL PLUMBING CODE (IPC) T. 480.941.2367 2015 INTERNATIONAL FUEL GAS CODE (IFGC) 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) CONTACT: Devon Furstenau 2014 NATIONAL ELECTRICAL CODE (NEC) LANDSCAPE ENGINEER: ALL CITY OF SCOTTSDALE CODES AND AMENDMENTS T.J. McQueen & Associates, Inc. 10450 N 74th Street, Suite 120 Scottsdale, Arizona 85258 **SPECIAL INSPECTIONS** T. 602.265.0320 STRUCTURAL - CONCRETE CONSTRUCTION STRUCTURAL - POST INSTALLED ANCHORS Contact: Tim McQueen RLA, ASLA STRUCTURAL - MASONRY CONSTRUCTION STRUCTURAL - WELDS NOT IN SHOP OF APPROVED FABRICATOR CIVIL ENGINEER: STRUCTURAL - ANCHOR BOLTS Land Development Group SOILS - SPECIAL GRADING, EXCAVATION & FILL 8808 N Central Ave, Suite 288 Phoenix, Arizona 85020 T. 602.889.7984 DEFERRED SUBMITTALS Contact: Nick Prodanov, PE, PMP SIGNAGE (UNDER SEPARATE PERMIT) WOOD TRUSS & CALCULATIONS FIRE SPRINKLERS/FIRE PROTECTION (UNDER SEPARATE PERMIT) SEE STRUCTURAL FOR ADDITIONAL DEFERRED SUBMITTALS **PROJECT DATA BUILDING AND SITE BASICS:** REPLACE WITH NEW DRIVE ENTRY. PROJECT ADDRESS: 6900 E 1ST AVENUE SCOTTSDALE, AZ, 85251 ASSESSORS PARCEL #: 130-11-055 130-11-056 0 NET LOT AREA: 13,150 S.F., 0.302 ACRES 20,926 S.F., 0.480 ACRES GROSS LOT AREA: BUILDING AREA TOTAL 5,178 S.F. NOT PLACE VEGETATION THAT WILL INTERFERE WITH TRASH FOOTPRINT: GROSS: 12,310 S.F. COLLECTION No. OF TOWNHOMES: 2 BEDROOM 1 BEDROOM TOTAL SITE INFORMATION: 0 ZONING: C-2 DO (DOWNTOWN) Т FLOOR AREA RATIO: MAX 1.30 12,310 / 13,150 = .91 3 PROPOSED SETBACKS: FRONT 0 NORTH SIDE SOUTH SIDE 16' REAR 0 MAX DENSITY: 23 DWELLING UNITS / ACRE Σ 23 x 0.480 = 11.04 DU ALLOWED 0 6 DWELLING UNITS PROPOSED DENSITY 0 OPEN SPACE PRIVATE OPEN SPACE 3 Ш REQUIRED: 12,310 x 0.10 = 1,231 SF PROVIDED: 4,491 SF FRONTAGE OPEN SPACE 5 PROVIDED: 1,127 SF LL SIN **PROJECT DATA** L **BUILDING CODE INFORMATION:** BUILDING OCCUPANCY: SINGLE-FAMILY ATTACHED RESIDENTIAL STORIES: **BUILDING HEIGHT:** ALLOWED: ANCE PROPOSED: 42 AREA SEPARATIONS 1 HR (TABLE R302.1(2)) REQUIRED: PROVIDED: 1 HR EXP. 12/31/2021 E INDIAN SCHOOL ROAD FIRE SPRINKLERS REQUIRED: YES FIRE SPRINKLERS PROVIDED: YES NFPA 13D FIRE ALARM REQUIRED: NO FIRE ALARM PROVIDED: NO 12/06/19 1st City Commer THIS PROJECT PARKING REQUIRED: 1.7 X 6 UNITS = 10.2 PARKING PROVIDED: **10 STANDARD SPACES** *NOTE: SEE SITE PLAN FOR LOCATION OF ADAPTABLE ADA GARAGE PROVIDED. NO BICYCLE PARKING REQUIRED OR PROVIDED E 1ST AVENUE **REQUIRED U-FACTORS:** WOOD FRAME WALL: R-21 FLOOR: Phase: R-13 Ш CEILING: R-38 SLAB: R-0 Drawn By PROVIDE EB REQUIRED FENESTRATION SHGC: 0.25 Reviewd By SDI Project No:

\sim DUPLIC S89° 06' 12"W Z ______ - ____ - ____ - _____ - _____ - _____ - _____ - _____ 0. (A) GS UNIT 6 1 BEDROOM 36' - 3" -(в) 34' - 11 1/2" 38' - 2 1/2" TYP 34' - 2 1/2" (12)— -(C) 33' - 9" 33.0 34' - 2 1/2" UNIT 4 2 BEDROOMS LOTS 12 + 13 -(D) APN 130-11-055 APN 130-11-056 33' - 9" 34' - 2 1/2" UNIT 3 2 BEDROOMS APN 130-11-057 C-2 33' - 11" -(E) 38' - 2 1/2" <u>(6)</u> B.S.L (12)--(F) 35' - 5 1/2" 36' - 3" -(G) سیب نے شیٹ کے تعلیم کے تحکیم کے سیب نے سنچ کے تحکی S89° 06' 12" W -4 83.26'

1ST AVENUE

- 11 PAVER WALKWAY

PROJECT NARRATIVE PROJECT CONSISTS OF A NEW BUILDING WITH SIX (6) SINGLE FAMILY ATTACHED UNITS. EACH UNIT CONSISTS OF A THREE STORY TOWNHOUSE UNIT WITH GARAGE ON THE GROUND FLOOR. TOWNHOUSE WILL BE DESIGNED AND CONSTRUCTED PER THE INTERNATIONAL RESIDENTIAL CODE. **PROJECT TEAM** 1111 West University OWNER: Drive, Suite 104, Tempe. Blueprint Capital Services, LLC 5815 E. Calle Del Norte Phoenix, Arizona 85018 T. 206.909.6136 Contact: Dan Duffus ARCHITECT: Synectic Design, Inc. 1111 W University Drive, Suite 104 Tempe, Arizona 85281 T. 480.948.9766 Contact: Lance D. Baker, AIA MECHANICAL ENGINEER: Design Management Solutions 13452 N 76th Place Scottsdale, Arizona 82260 T. 602.918.0115 Contact: Andreas Pluntke PLUMBING ENGINEER: Design Management Solutions 13452 N 76th Place Scottsdale, Arizona 82260 T. 602.918.0115 Contact: Andreas Pluntke **KEYNOTES** 1 PROPERTY LINE 2 EXISTING SIDEWALK 3 6' WIDE CONCRETE SIDEWALK 4 DEMO EXISTING DRIVEWAY, CURB AND GUTTER AT THIS LOCATION. 5 EXISTING STREET LAMP 6 6" CONCRETE CURB 7 8" CMU COURTYARD WALL - SEE ELEVATIONS FOR FINISHES 8 PAVER DRIVEWAY APPROACH 9 10-FOOT ALLEY DEDICATION 10 ASPHALT DRIVEWAY 12 THIS AREA OF LANDSCAPING TO BE RESERVED FOR TRASH BINS. DO 13 EXISTING SIGHT LINE VIEW EASEMENT 14 EXISTING CURB AND ADA COMPLIANT RAMP TO REMAIN 15 ALLEY DRIVEWAY 16 LINE OF STRUCTURE ABOVE 17 YARD 18 ELECTRIC PANEL _REVISIONS CD Author Checker 3876 E MAIN STREET Date: 12/06/2019 05 Ζ VICINITY MAP ARCHITECTURAL SITE PLAN

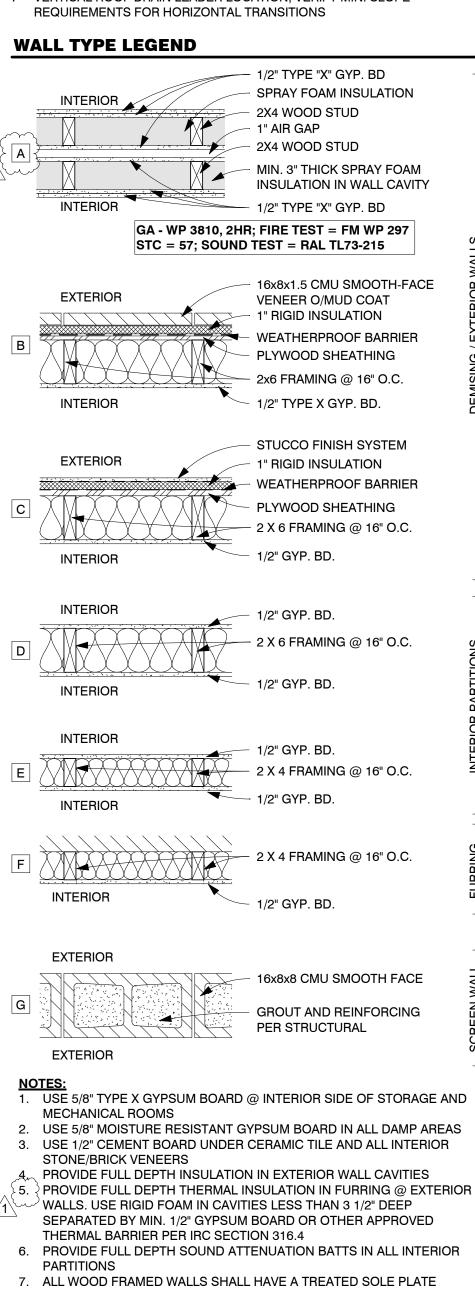


2 BUILDING FLOOR PLAN - 2nd FLOOR 1/8" = 1'-0"

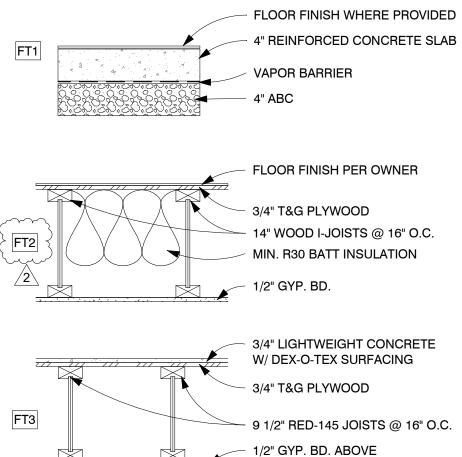


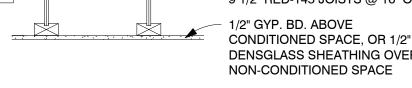
KEYNOTES

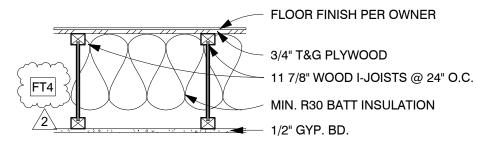
- 1 5/8" TYPE 'X' GYP BOARD TO BE AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE
- 2 ELECTRIC PANEL
- 3 METAL GATE WITH DECORATIVE WIRE MESH SCREENS, PAINTED
- 4 PARTIAL VIEW FENCE ON TOP OF CMU WALL SEE DETAIL 15/A7.1
- 5 METAL FASCIA AT AWNING, PAINTED 6 BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
- 7 VERTICAL ROOF DRAIN LEADER LOCATION, VERIFY MIN. SLOPE



FLOOR TYPE LEGEND



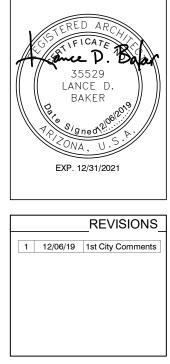




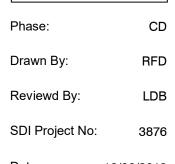
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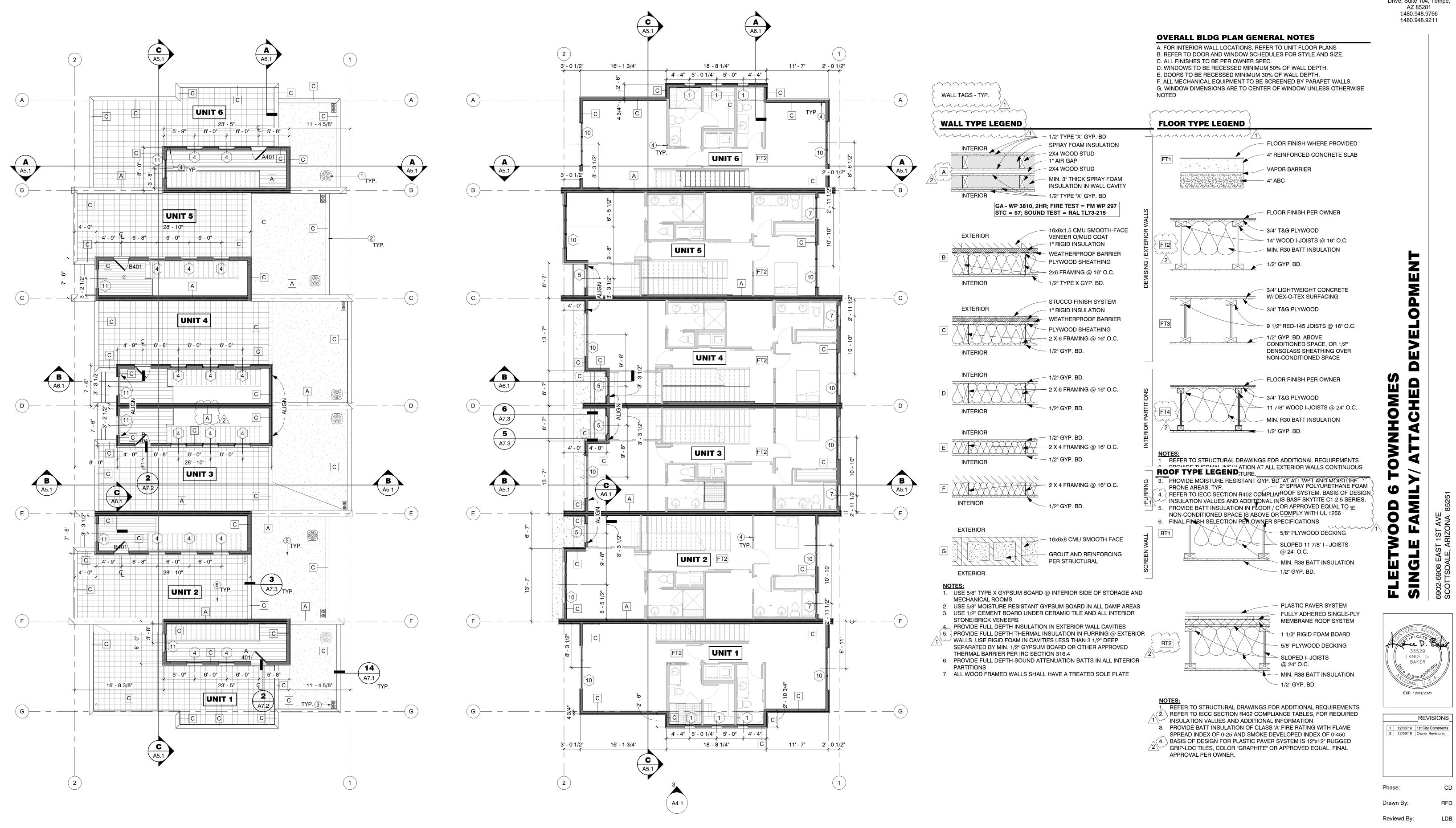


NOTES: 1 REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS

DENSGLASS SHEATHING OVER

NON-CONDITIONED SPACE



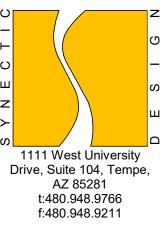


north



KEYNOTES

- 1 MECHANICAL UNIT, TYP. TO BE FULLY SCREENED BY PARAPET
- 2 SHEET METAL PARAPET CAP SEE DETAIL 13 / A7.1 OR 14 / A7.1 3 ROOF DRAIN-OVERFLOW, SEE DETAIL 7/A7.2.
- 4 VERTICAL ROOF DRAIN LEADER LOCATION, VERIFY MIN. SLOPE REQUIREMENTS FOR HORIZONTAL TRANSITIONS
- 5 SPRAY FOAM ROOFING
- 6 ROOF DECKING



SDI Project No: Date: 12/06/2019



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Sheet

3RD FLOOR & ROOF DECK

ROOF DRAINAGE

AREA 1: HORIZONTALLY PROJECTED ROOF AREA: 156 SF 3"/HR RAINFALL CAPACITY: ROOF DRAIN DIAMETER:

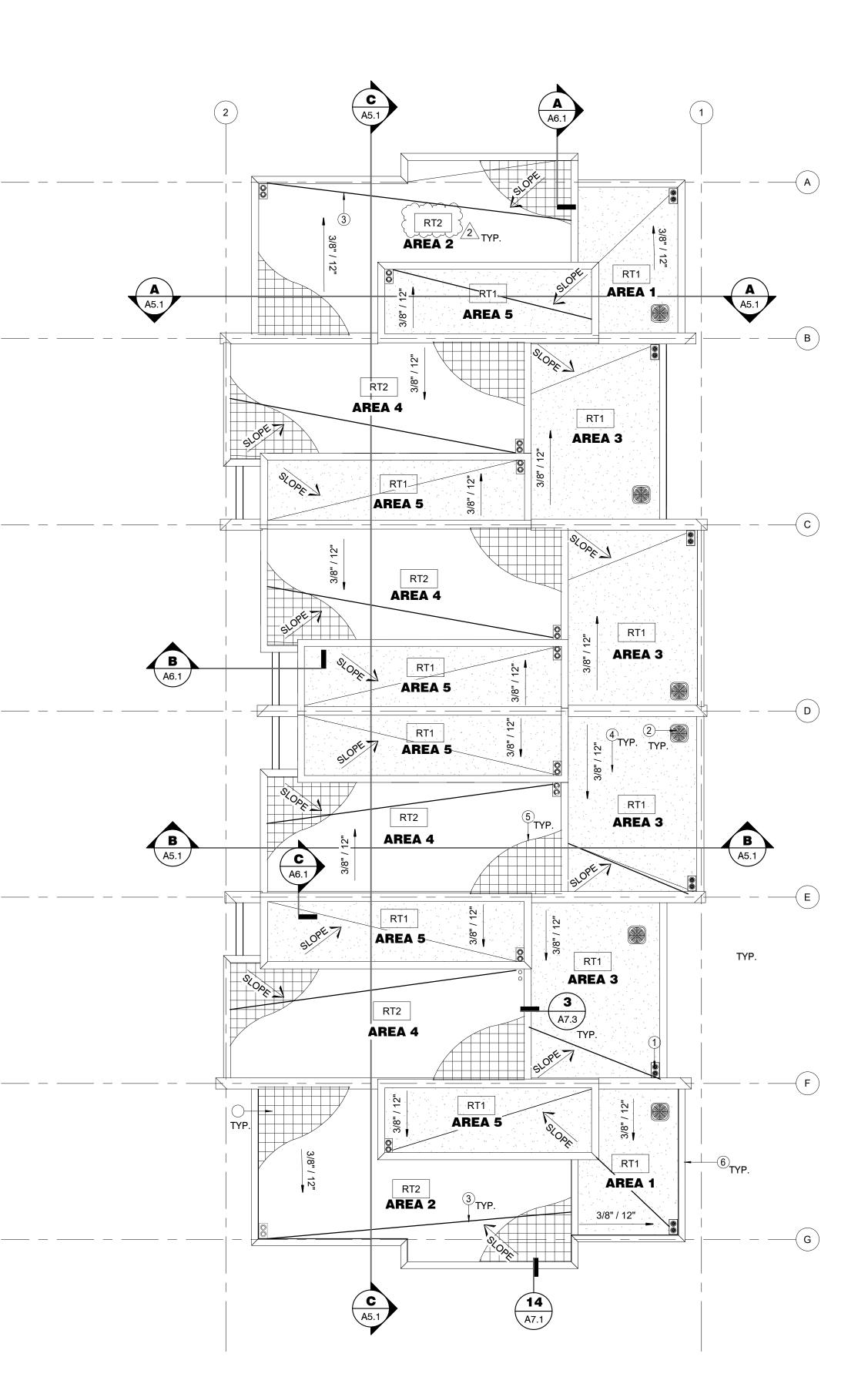
AREA 2:

AREA 3:

AREA 4:

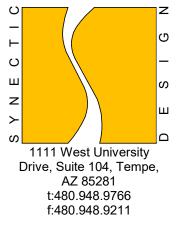
3"/HR RAINFALL CAPACITY: ROOF DRAIN DIAMETER:

AREA 5:



KEYNOTES

- 1 ROOF DRAIN-OVERFLOW, SEE DETAIL 7/A7.2.
- 2 MECHANICAL UNIT, TYP. TO BE FULLY SCREENED BY PARAPET 156 X .0312=4.86 3 PLYWOOD ROOF CRICKET, SLOPE TO DRAIN AWAY FROM BUILDING, TYP.
 - 4 SPRAY FOAM ROOFING
 - 5 PLASTIC ROOF DECK TILES



 \square

6 SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1

HORIZONTALLY PROJECTED ROOF AREA: 438 SF 3"/HR RAINFALL CAPACITY: 438 X .0312=13.66 ROOF DRAIN DIAMETER: 2" HORIZONTALLY PROJECTED ROOF AREA: 271 SF 271 X .0312=8.45 3"/HR RAINFALL CAPACITY: ROOF DRAIN DIAMETER: 2"

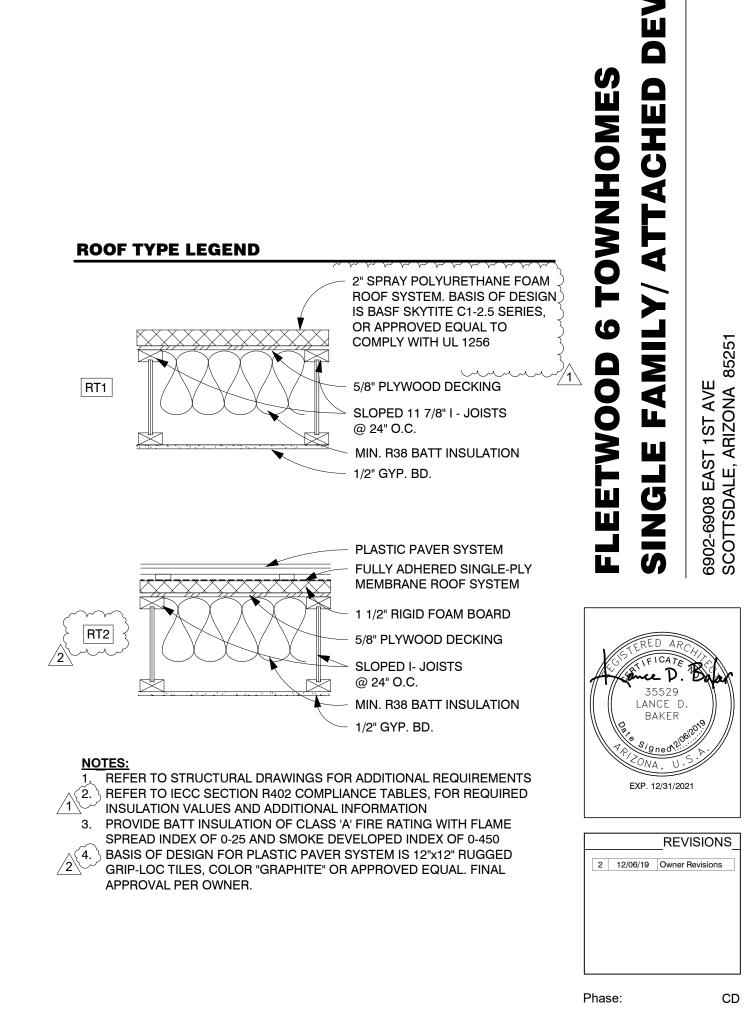
2"

HORIZONTALLY PROJECTED ROOF AREA: 388 SF 388 X .0312=12.10 2"

HORIZONTALLY PROJECTED ROOF AREA: 186 SF 3"/HR RAINFALL CAPACITY: 186 X .0312=5.80 ROOF DRAIN DIAMETER: 2"

ROOF PLAN GENERAL NOTES

- A. MECHANICAL UNITS TO BE ON BUILT UP PODIUM, HIDDEN BEHIND PARAPET WALLS.
- B. ROOF DRAINS SIZED TO HANDLE SPECIFIC SQUARE FOOTAGE OF ROOF.



Drawn By: Author

Reviewd By: Checker

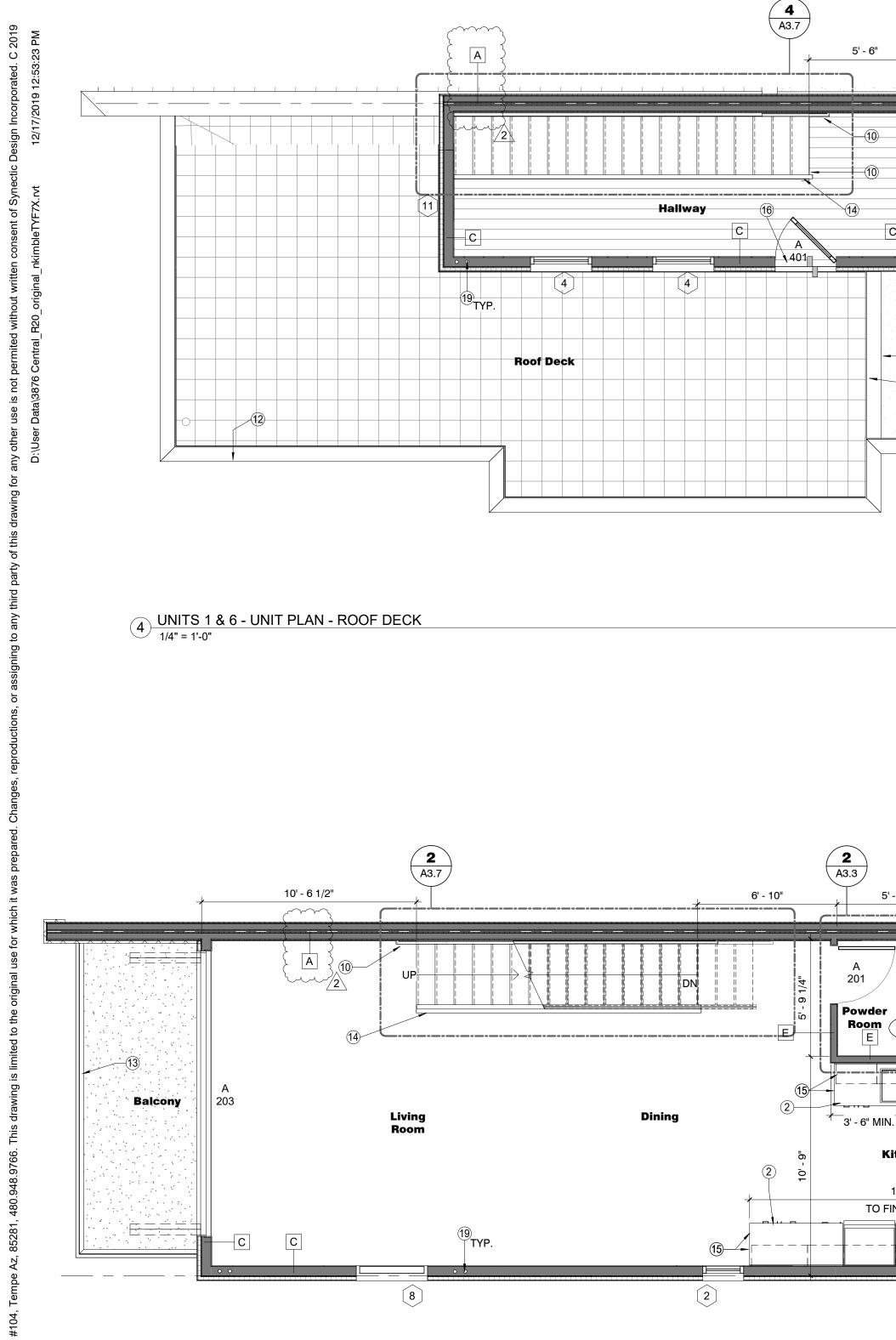
Date: 12/06/2019

SDI Project No:

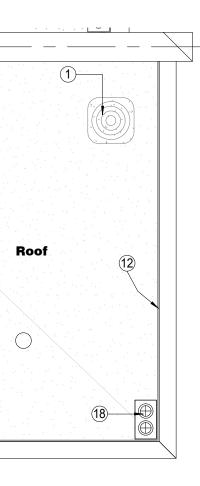
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2 UNITS 1 & 6 - UNIT PLAN - 2nd FLOOR 1/4" = 1'-0"



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-(10)

- 12

5' - 8"

Kitchen

15' - 5"

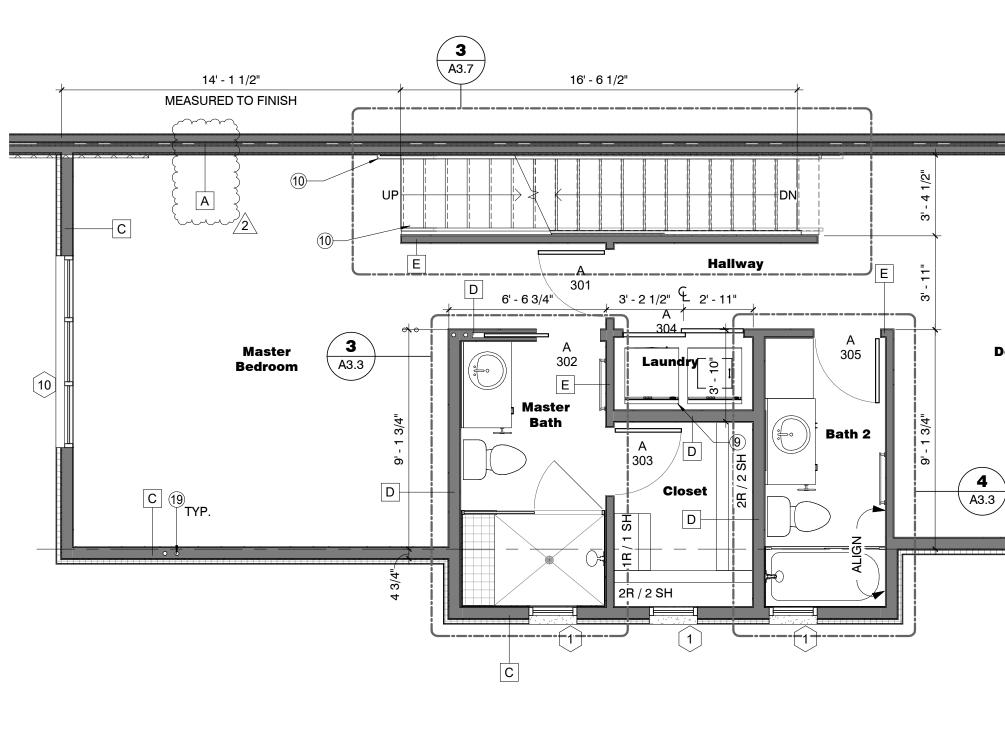
TO FINISH FACE

A3.3

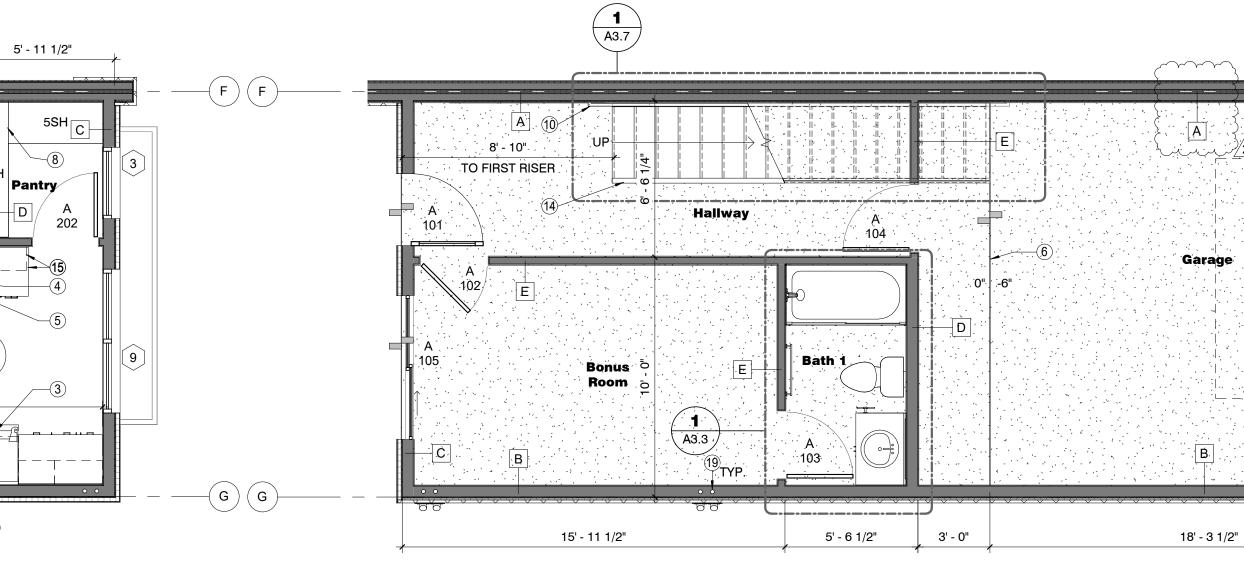
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Powde Room



³ UNITS 1 & 6 - UNIT PLAN - 3rd FLOOR 1/4" = 1'-0"



1 UNITS 1 & 6 - UNIT PLAN - 1st FLOOR 1/4" = 1'-0"

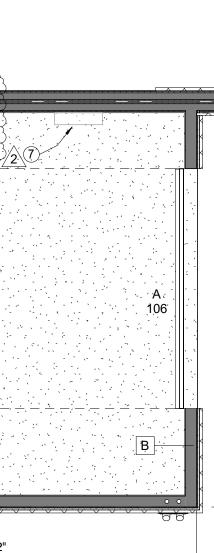
KEYNOTES

- 1 MECHANICAL UNIT, TYP. TO BE FULLY SCREENED BY PARAPET
- 2 COUNTER TOP, BASE & UPPER CABINET 3 REFRIGERATOR
- 4 KITCHEN SINK
- 5 DISHWASHER
- 6 6" TALL CURB STOP
- 7 ELECTRIC PANEL 8 PANTRY SHELVING
- 9 WASHER AND DRYER BY OTHERS
- 10 HAND RAIL AT 36" MIN. A.F.F. REFER TO 3/A3.10 FOR REQUIREMENTS
- 11 LOW WALL 42" A.F.F.
- 12 SHEET METAL PARAPET CAP SEE DETAIL 13 / A7.1 OR 14 / A7.1
- 13 BALCONY GUARDRAIL 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS 14 INTERIOR STAIR GUARDRAIL 42" A.F.F. MIN REFER TO 2/A3.10 FOR
- REQUIREMENTS
- 15 PROVIDE FINISH FACE FOR UPPER AND LOWER END CABINETS 16 4" HIGH THRESHOLD BETWEEN ROOF DECK AND PENTHOUSE
- 17 PROVIDE MIN. 36" CLEAR FOR REFRIGERATOR
- 18 ROOF DRAIN-OVERFLOW, SEE DETAIL 7/A7.2.
- 19 VERTICAL ROOF DRAIN LEADER LOCATION, VERIFY MIN. SLOPE REQUIREMENTS FOR HORIZONTAL TRANSITIONS

FLOOR PLAN GENERAL NOTES

A. ALL APPLIANCES TO BE PER OWNER SPEC B. ALL PLUMBING FIXTURES TO BE PER OWNER SPEC

- C. ALL FINISHES TO BE PER OWNER SPEC
- D. CABINETRY TO BE SPECIFIED BY OWNER
- E. EXTERIOR DIMENSIONS FOUND ON OVERALL BUILDING PLANS

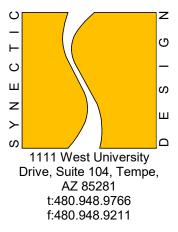


Den/ Media

C C

		 1/2" TYPE "X" GYP. BD SPRAY FOAM INSULATION 	-
7	INTERIOR	- 2X4 WOOD STUD	
~ AÌ₹		 1" AIR GAP 2X4 WOOD STUD 	
<u>~</u>		 MIN. 3" THICK SPRAY FOAM INSULATION IN WALL CAVITY 	
<u></u>	INTERIOR	- 1/2" TYPE "X" GYP. BD	
		R; FIRE TEST = FM WP 297 D TEST = RAL TL73-215	(-
-	EXTERIOR	 16x8x1.5 CMU SMOOTH-FACE VENEER O/MUD COAT 1" RIGID INSULATION 	
B		 WEATHERPROOF BARRIER PLYWOOD SHEATHING 	Ĺ
(- 2x6 FRAMING @ 16" O.C.	
_	INTERIOR	- 1/2" TYPE X GYP. BD.	Ĺ
C	EXTERIOR	 STUCCO FINISH SYSTEM 1" RIGID INSULATION WEATHERPROOF BARRIER PLYWOOD SHEATHING 	
(- 2 X 6 FRAMING @ 16" O.C.	
	INTERIOR	– 1/2" GYP. BD.	
	INTERIOR	— 1/2" GYP. BD.	
D (- 2 X 6 FRAMING @ 16" O.C.	
Ì	INTERIOR	- 1/2" GYP. BD.	
	INTERIOR	- 1/2" GYP. BD.	
E /		- 2 X 4 FRAMING @ 16" O.C.	ł
		- 1/2" GYP. BD.	
F		- 2 X 4 FRAMING @ 16" O.C.	
	INTERIOR	- 1/2" GYP. BD.	ī
	EXTERIOR		
~		- 16x8x8 CMU SMOOTH FACE	
G	EXTERIOR	- GROUT AND REINFORCING PER STRUCTURAL	
<u>NOT</u>			
1.		@ INTERIOR SIDE OF STORAGE A	ND
2. 3.	USE 5/8" MOISTURE RESISTANT O USE 1/2" CEMENT BOARD UNDER	GYPSUM BOARD IN ALL DAMP AREA CERAMIC TILE AND ALL INTERIOR	S
	STONE/BRICK VENEERS PROVIDE FULL DEPTH INSULATIC		

- 5. PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS. USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP SEPARATED BY MIN. 1/2" GYPSUM BOARD OR OTHER APPROVED THERMAL BARRIER PER IRC SECTION 316.4
- 6. PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS
- 7. ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE



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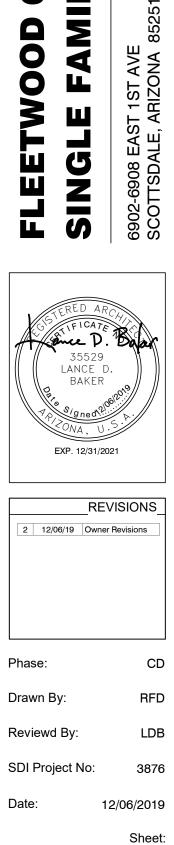
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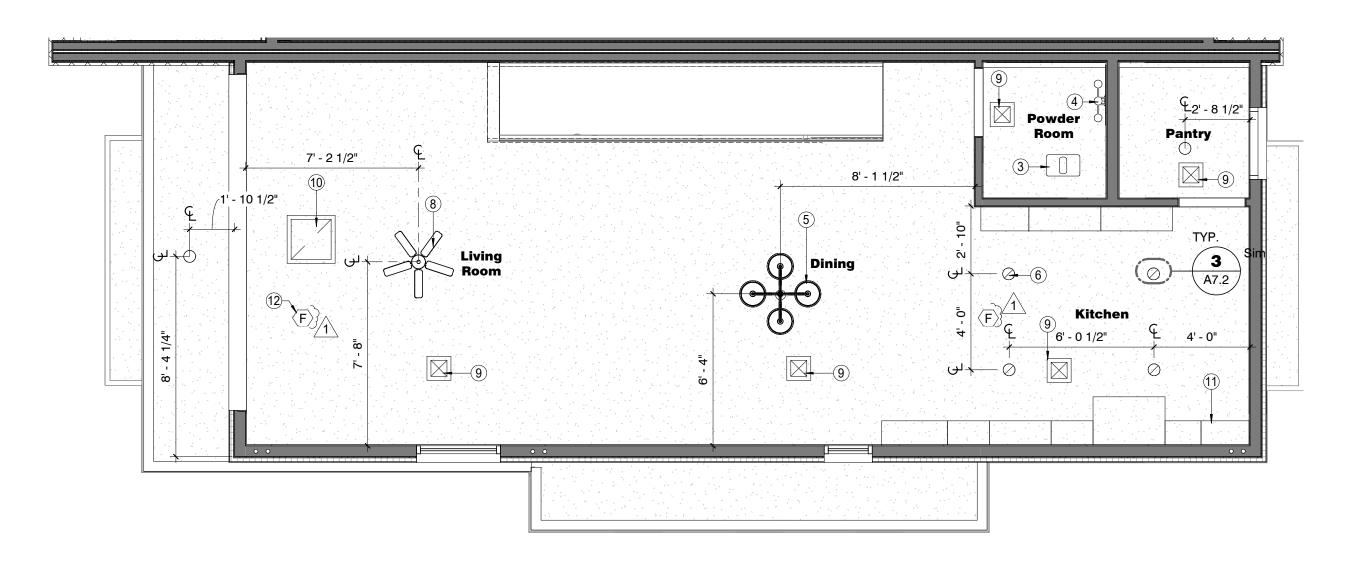
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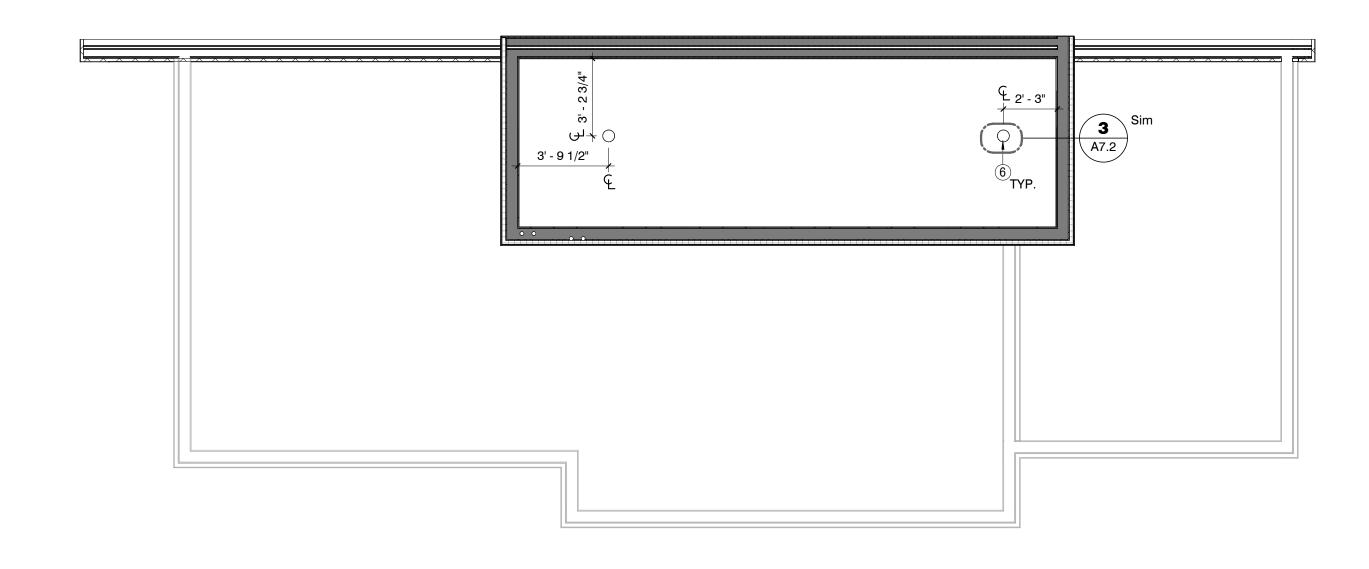




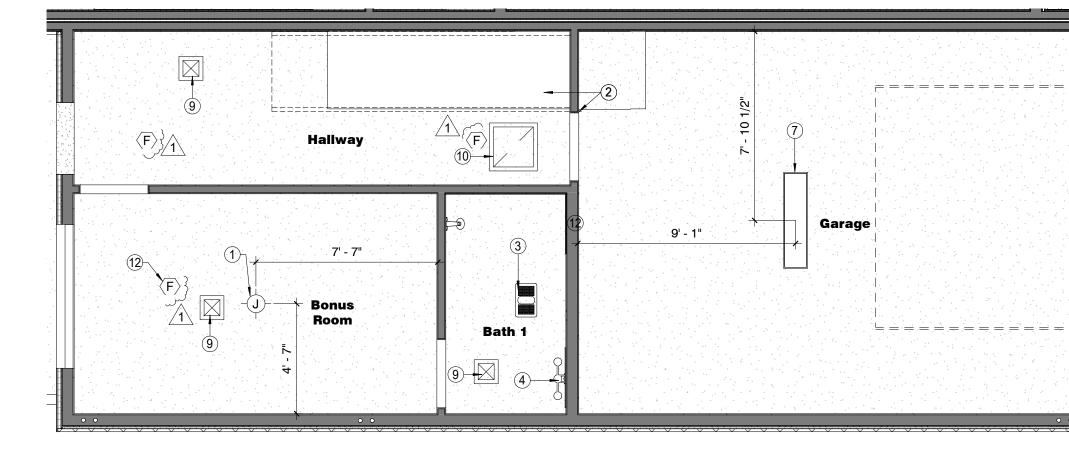
2 2ND FLOOR UNIT 1 & 6 RCP 1/4" = 1'-0"



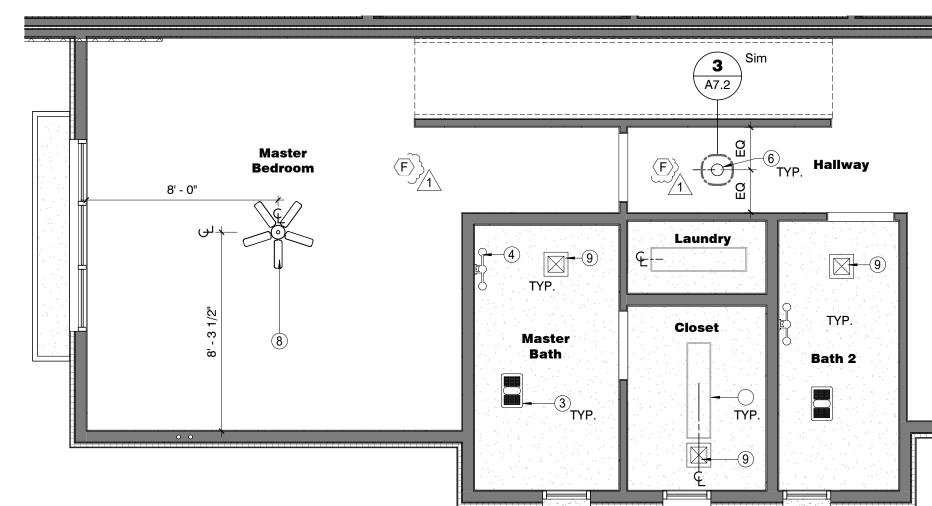
4 Roof Deck Unit 1 RCP 1/4" = 1'-0"



1 1ST FLOOR UNIT 1 & 6 RCP 1/4" = 1'-0"

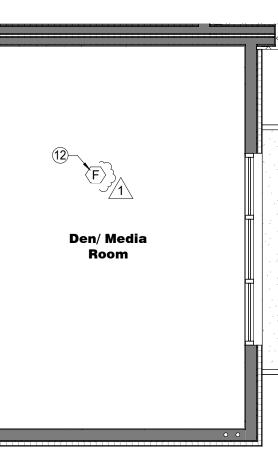


3 3RD FLOOR UNIT 1 & 6 RCP 1/4" = 1'-0"



KEYNOTES

- 1 JUNCTION BOX TO BE CAPPED UNLESS OTHERWISE NOTED BY OWNER 2 5/8" TYPE 'X' GYP BOARD TO BE AT UNDERSIDE OF STAIRS AND WALLS
- ADJACENT TO GARAGE 3 EXHAUST FAN
- 4 VANITY LIGHT FIXTURE
- 5 DECORATIVE LIGHT FIXTURE
- 6 RECESSED CAN LIGHT
- 7 FLUORESCENT LIGHT 8 CEILING FAN
- 9 MECHANICAL SUPPLY GRILL, REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION
- 10 MECHANICAL RETURN GRILL, REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION
- 11 COUNTER TOP, BASE & UPPER CABINET
- 12 COMBINATION SMOKE/CO DETECTOR, TYP. SEE ELECTRICAL PLANS FOR MORE INFORMATION.



REFLECTED CEILING PLAN GENERAL NOTES

- A. MINIMUM 5/8" TYPE X GYP BOARD AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE. B. PLUMBING FIXTURES TO BE PER OWNERS SPEC
- C. LIGHTING FIXTURES TO BE PER OWNERS SPEC
- D. ALL LIGHTING DIMENSIONED TO CENTER OF FIXTURE UNLESS NOTED OTHERWISE
- E. CENTER BATHROOM LIGHT FIXTURES ABOVE VANITY MIRRORS UNLESS NOTED OTHERWISE.



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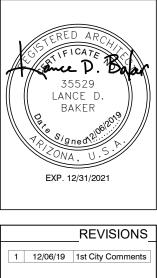
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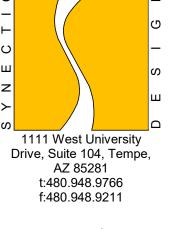


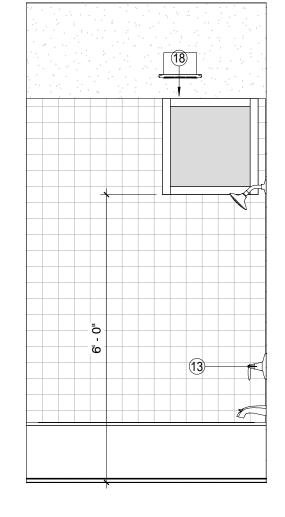
CD Phase: NYK Drawn By: LDB Reviewd By: SDI Project No: 3876

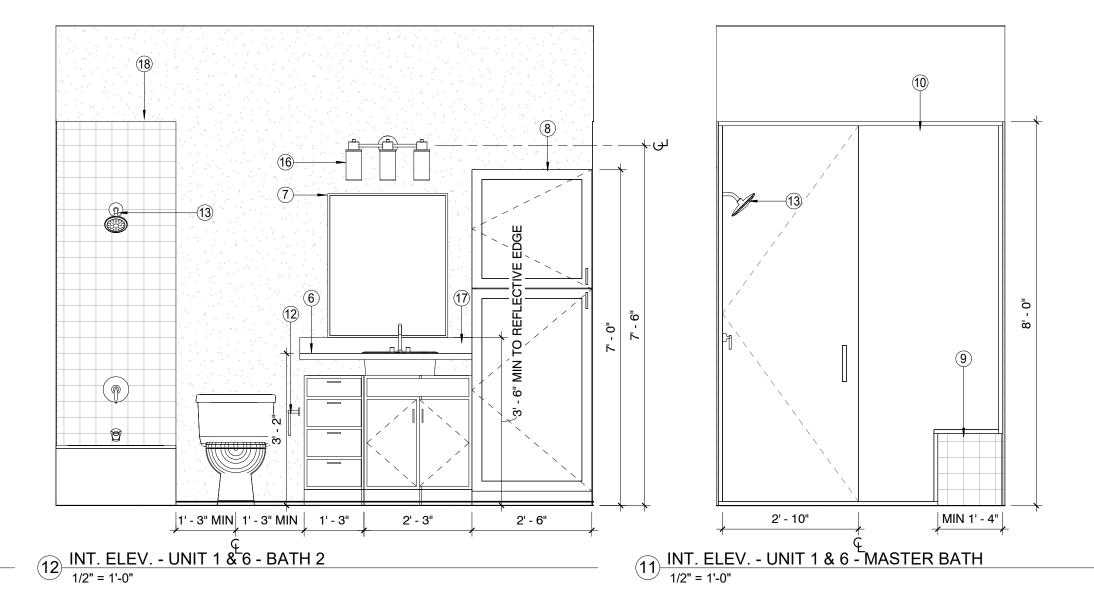
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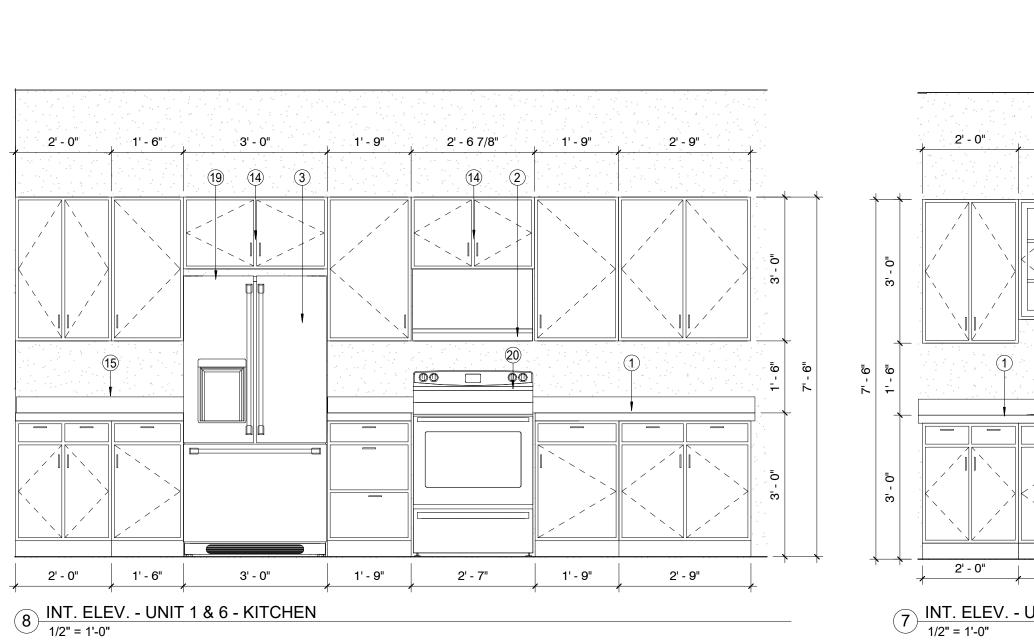


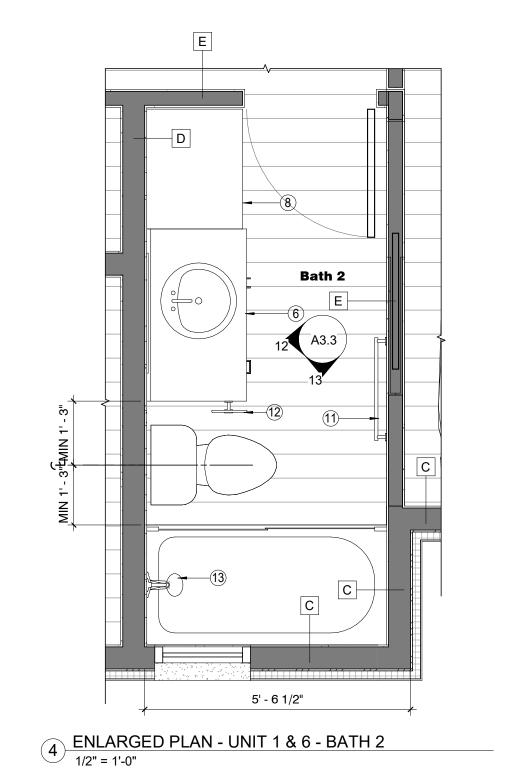
A3.2 UNITS 1 & 6 REFLECTED CEILING PLANS



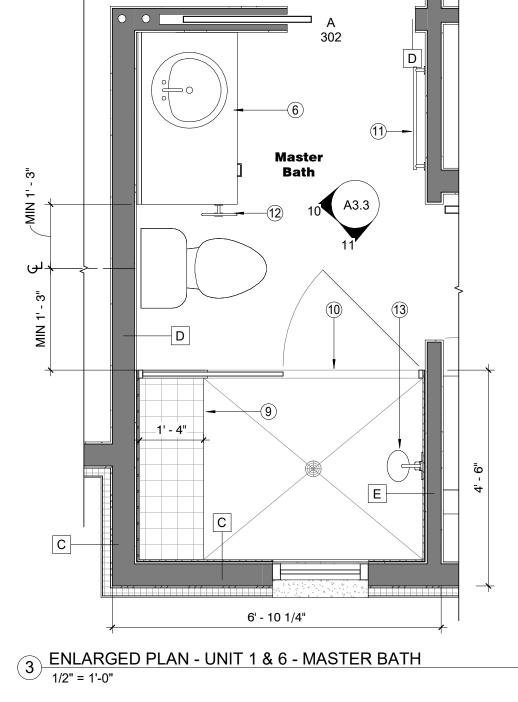


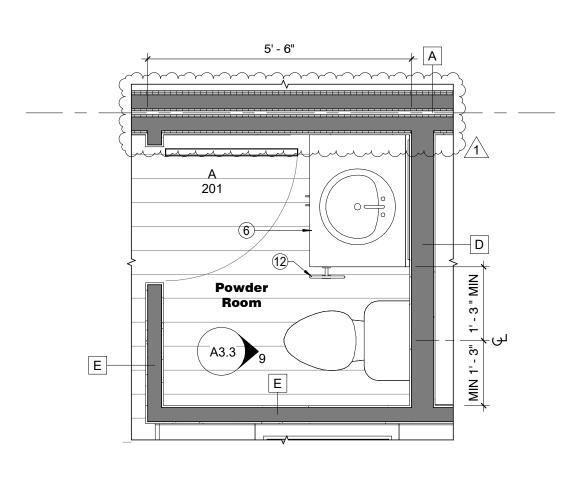


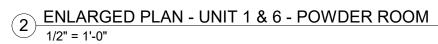


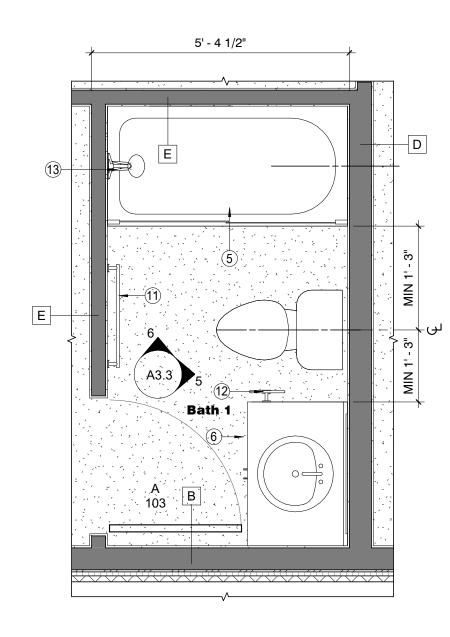




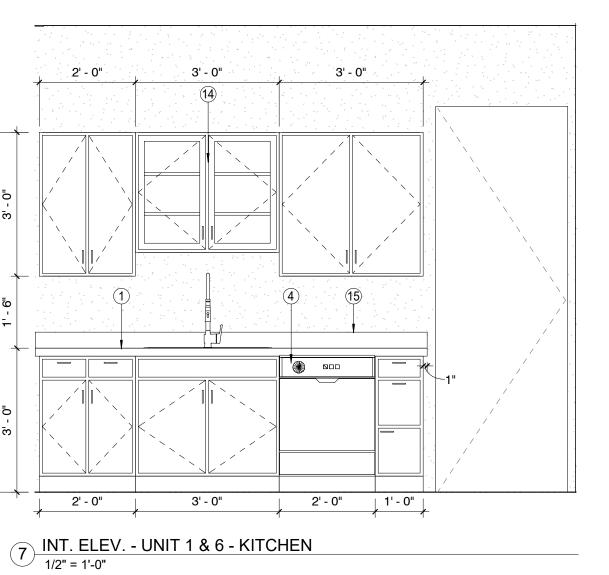


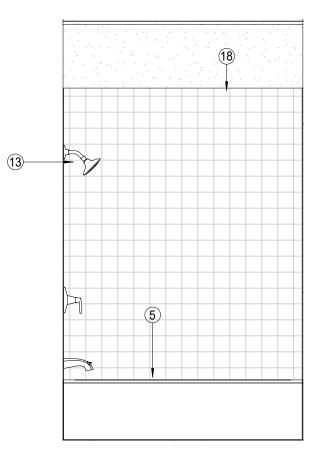




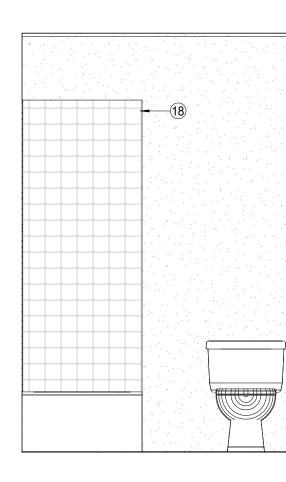


1 ENLARGED PLAN - UNIT 1 & 6 - BATHROOM 1 1/2" = 1'-0"

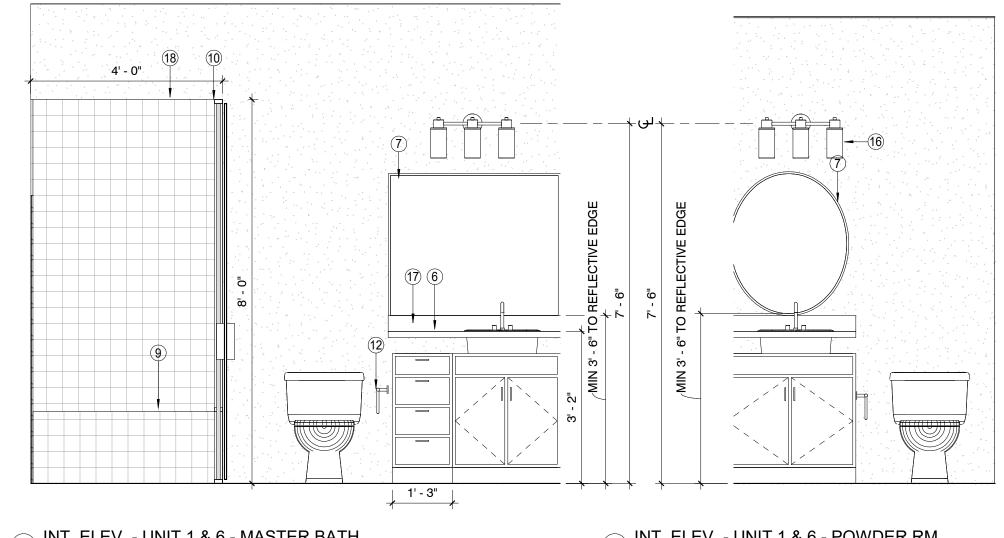




6 INT. ELEV. - UNIT 1 & 6 - BATH 1/2" = 1'-0"



5 INT. ELEV. - UNIT 1 & 6 - BATH 1 1/2" = 1'-0"



10 INT. ELEV. - UNIT 1 & 6 - MASTER BATH

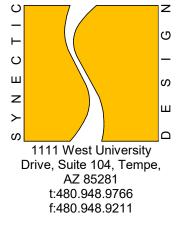
9 INT. ELEV. - UNIT 1 & 6 - POWDER RM 1/2" = 1'-0"

KEYNOTES

- 1 COUNTER TOP, BASE & UPPER CABINET
- 2 RANGE HOOD
- 3 REFRIGERATOR
- 4 DISHWASHER 5 BATHTUB / SHOWER COMBO
- 6 VANITY SINK, COUNTER AND BASE CABINET
- 7 VANITY MIRROR
- 8 BUILT-IN LINEN
- 9 BUILT-IN BENCH SEATING- 18" A.F.F. 10 SHOWER ENCLOSURE WITH TEMPERED GLASS AND
- MINIMUM 22" OPENING
- 11 TOWEL BAR 12 TOILET PAPER RING
- 13 SHOWER AND BATHTUB FIXTURES
- 14 SPECIALITY CABINETS
- 15 4" BACKSPLASH TO MATCH COUNTER TOP
- 16 VANITY LIGHT FIXTURE
- 17 4" BACKSPLASH TO MATCH VANITY COUNTER TOP
- 18 TILE SURROUND AT SHOWER AND BATHTUBS 19 PROVIDE MIN. 36" CLEAR FOR REFRIGERATOR
- 20 OVEN

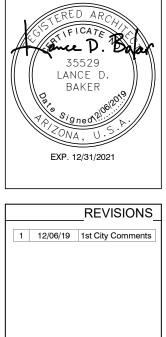
ENLARGED PLAN/INTERIOR ELEV. GENERAL NOTES

- A. ALL PLUMBING FIXTURES TO BE PER OWNER SPEC
- B. ALL BATH ACCESSORIES TO BE PER OWNER SPEC C. ALL APPLIANCES TO BE PER OWNER SPEC
- D. ALL MILLWORK / CABINETRY TO BE PER OWNER SPEC
- E. ALL LIGHTING FIXTURES TO BE PER OWNER SPEC
- F. ALL FINISHES PER OWNERS SPEC
- G. NON-ABSORBENT MATERIAL TO ME A MINIMUM OF 6' A.F.F. ABOVE SHOWER BASE OR BATHTUB.
- H. LOWER CABINETS TO HAVE 36" MINIMUM CLEAR SPACE FOR REFRIGERATOR.
- I. CENTER BATHROOM LIGHT FIXTURES OVER VANITIES UNLESS OTHERWISE NOTED



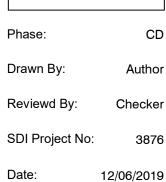


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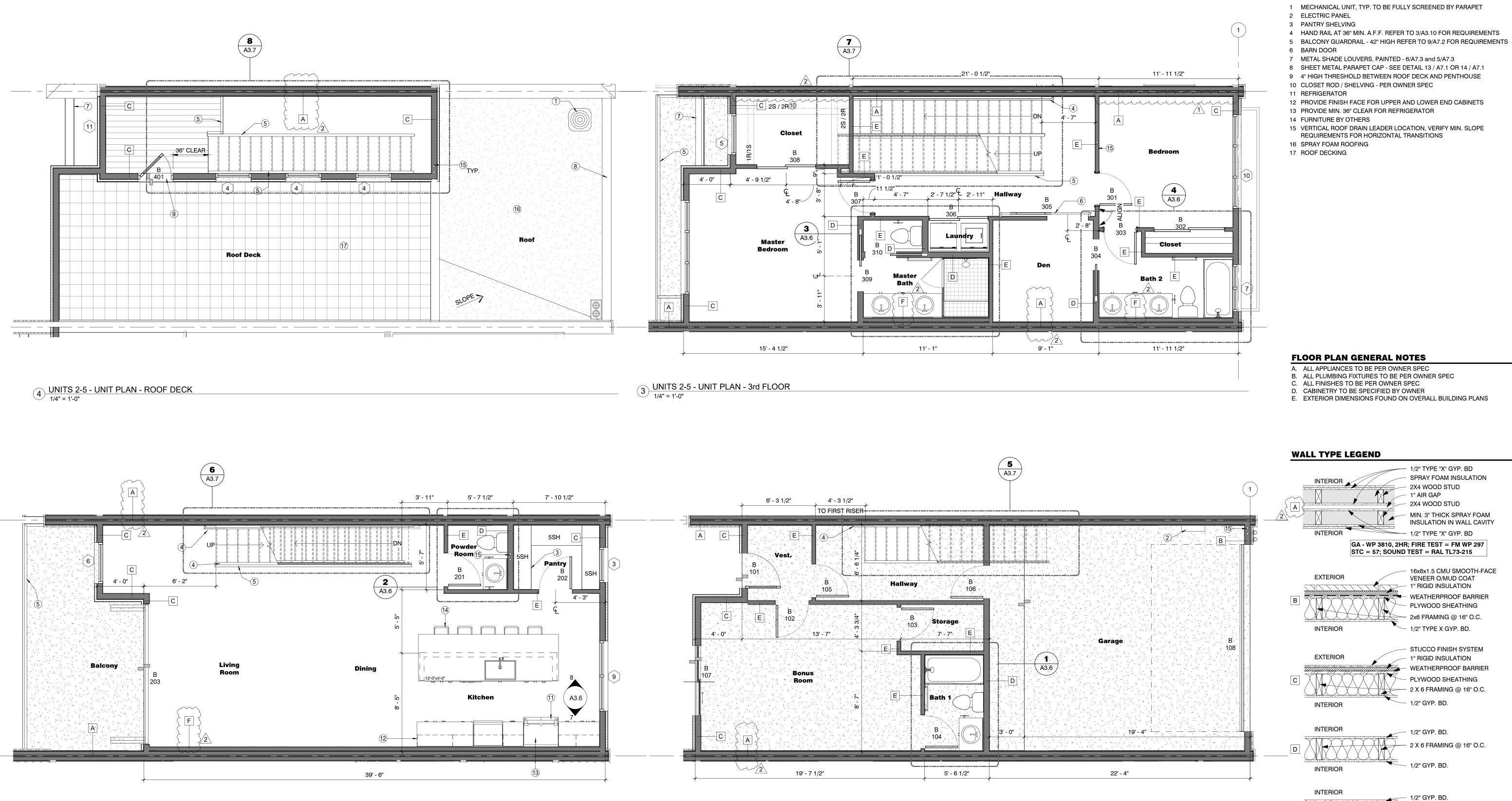
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3' - 0"



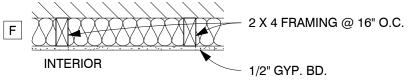
2 UNITS 2-5 - UNIT PLAN - 2nd FLOOR 1/4" = 1'-0"

1 UNITS 2-5 - UNIT PLAN - 1st FLOOR 1/4" = 1'-0"

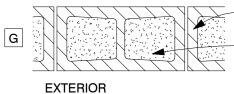
$\langle \cdot \cdot \rangle$	<u> </u>	M M	2X4 WOOD STUD
2 2			MIN. 3" THICK SPRAY FOAM INSULATION IN WALL CAVITY
	INTERIOR		1/2" TYPE "X" GYP. BD
			R; FIRE TEST = FM WP 297 TEST = RAL TL73-215
	EXTERIOR		16x8x1.5 CMU SMOOTH-FACE VENEER O/MUD COAT 1" RIGID INSULATION
В			WEATHERPROOF BARRIER PLYWOOD SHEATHING
		XXAX	2x6 FRAMING @ 16" O.C.
	INTERIOR		1/2" TYPE X GYP. BD.
	EXTERIOR		STUCCO FINISH SYSTEM 1" RIGID INSULATION
			WEATHERPROOF BARRIER
С		AAAAA	PLYWOOD SHEATHING
		XX	2 X 6 FRAMING @ 16" O.C.

KEYNOTES

1/2" GYP. BD. 2 X 4 FRAMING INTERIOR 1/2" GYP. BD. Е INTERIOR



EXTERIOR



- NOTES: 1. USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND
- MECHANICAL ROOMS 2. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS 3. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR

— 2 X 4 FRAMING @ 16" O.C.

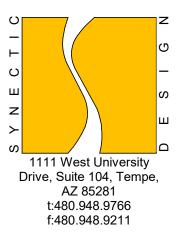
16x8x8 CMU SMOOTH FACE

- GROUT AND REINFORCING

PER STRUCTURAL

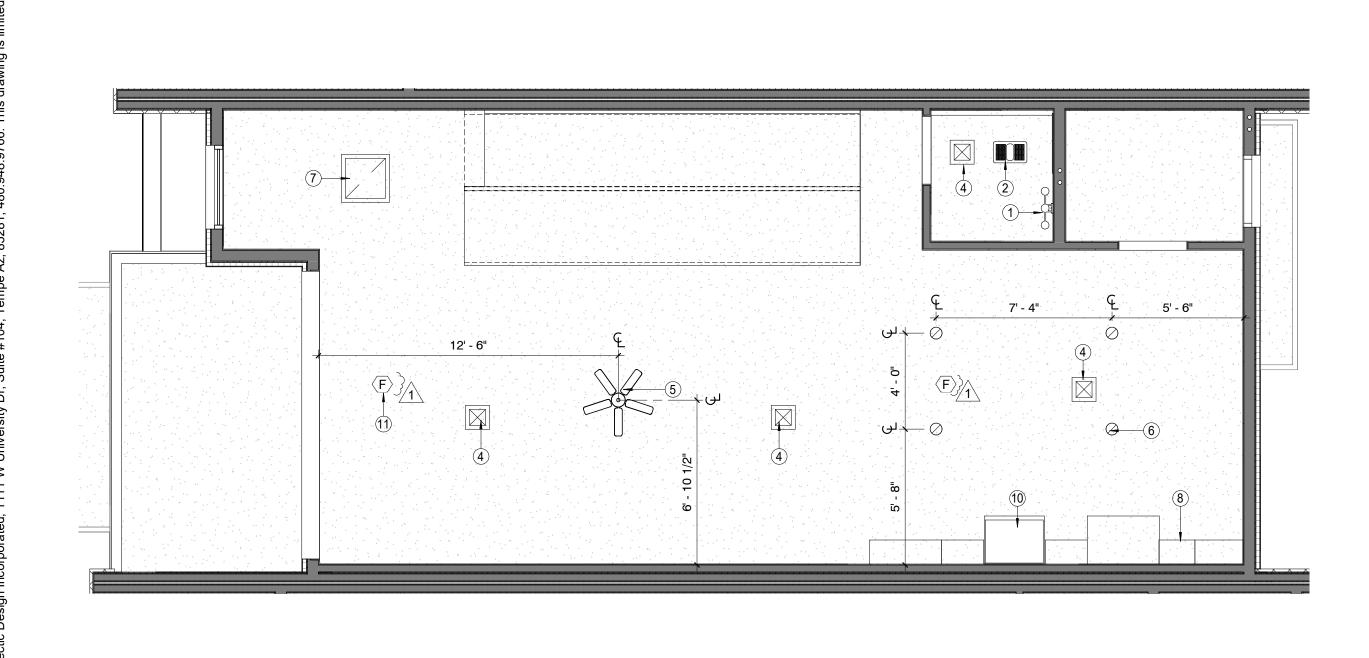
- 1/2" GYP. BD.

- STONE/BRICK VENEERS An PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
- 5. PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR WALLS. USE RIGID FOAM IN CAVITIES LESS THAN 3 1/2" DEEP SEPARATED BY MIN. 1/2" GYPSUM BOARD OR OTHER APPROVED THERMAL BARRIER PER IRC SECTION 316.4
- 6. PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS
- 7. ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE

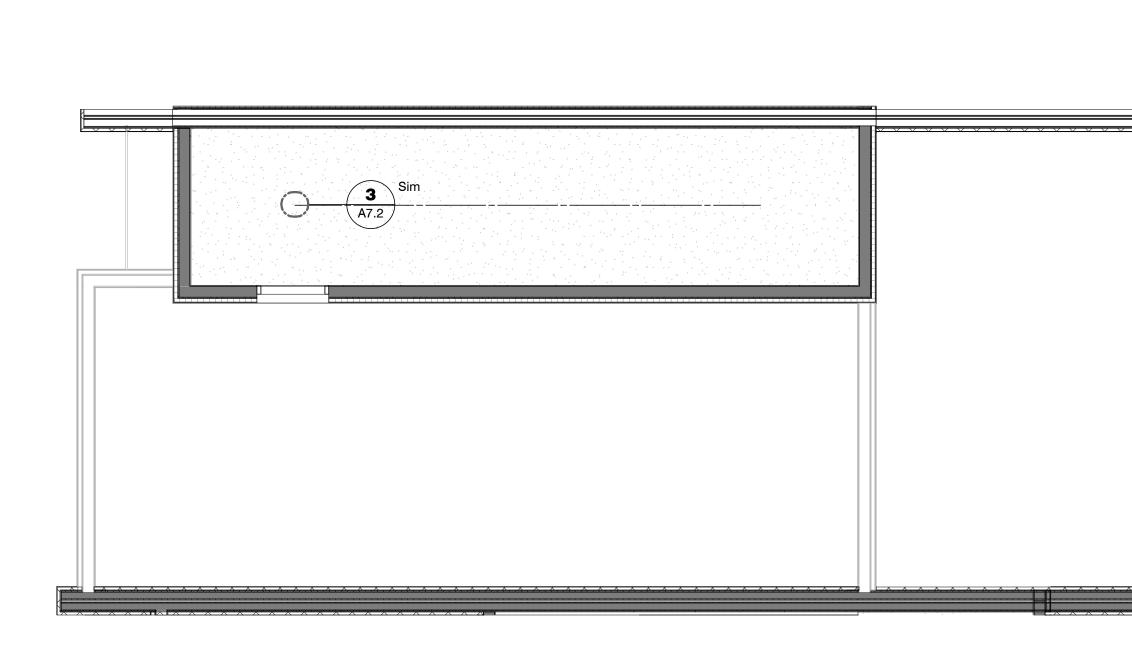


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FLOORPLANS

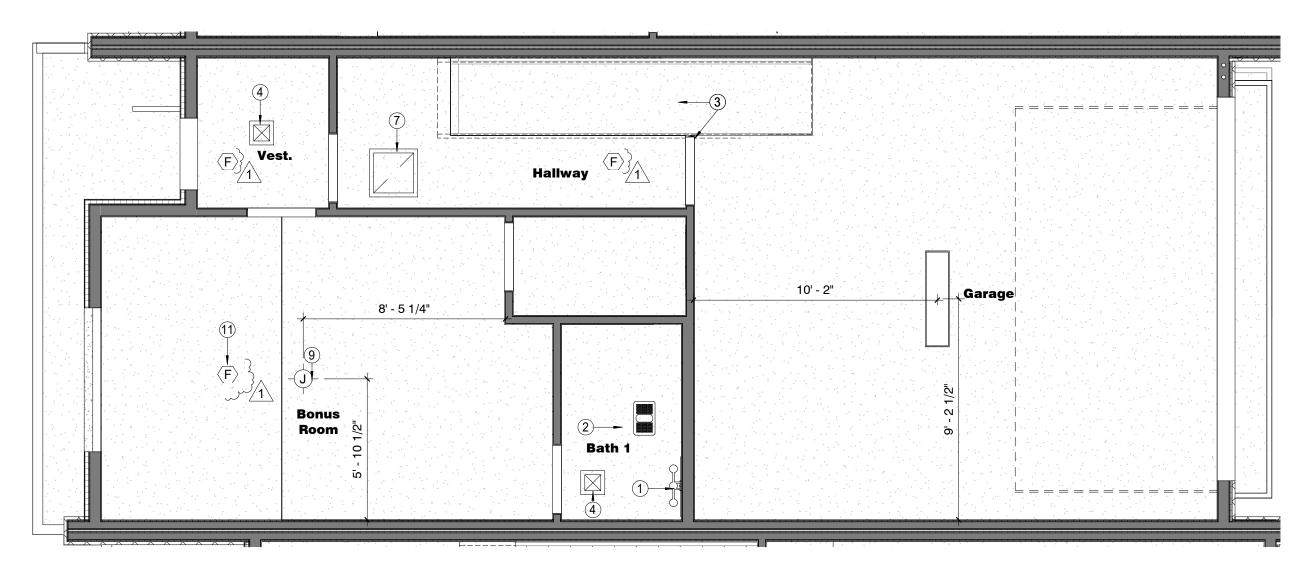


4 Roof Deck Unit 2-5 RCP 1/4" = 1'-0"

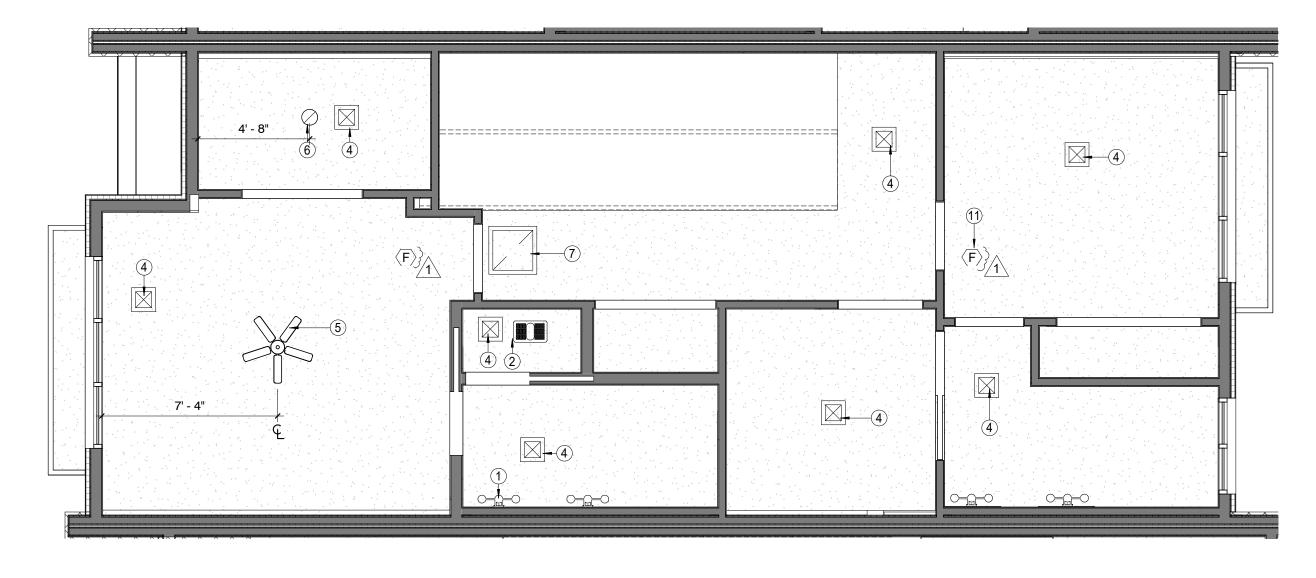


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1) 1ST FLOOR UNIT 2-5 RCP 1/4" = 1'-0"



3 3RD FLOOR UNIT 2-5 RCP 1/4" = 1'-0"



KEYNOTES

- 1 VANITY LIGHT FIXTURE
- 2 EXHAUST FAN
- 3 5/8" TYPE 'X' GYP BOARD TO BE AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE
- 4 MECHANICAL SUPPLY GRILL, REFER TO MECHANICAL
- DRAWINGS FOR MORE INFORMATION
- 5 CEILING FAN 6 RECESSED CAN LIGHT
- 7 MECHANICAL RETURN GRILL, REFER TO MECHANICAL
- DRAWINGS FOR MORE INFORMATION
- 8 COUNTER TOP, BASE & UPPER CABINET 9 JUNCTION BOX - TO BE CAPPED UNLESS OTHERWISE NOTED BY OWNER
- 10 RANGE HOOD
- 11 COMBINATION SMOKE/CO DETECTOR, TYP. SEE ELECTRICAL PLANS FOR MORE INFORMATION.

REFLECTED CEILING PLAN GENERAL NOTES

- A. MINIMUM 5/8" TYPE X GYP BOARD AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE.
- B. PLUMBING FIXTURES TO BE PER OWNERS SPEC
- C. LIGHTING FIXTURES TO BE PER OWNERS SPEC D. ALL LIGHTING DIMENSIONED TO CENTER OF FIXTURE UNLESS NOTED
- OTHERWISE E. CENTER BATHROOM LIGHT FIXTURES ABOVE VANITY MIRRORS UNLESS NOTED OTHERWISE.

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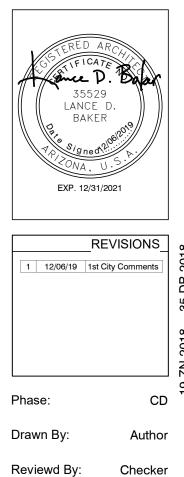
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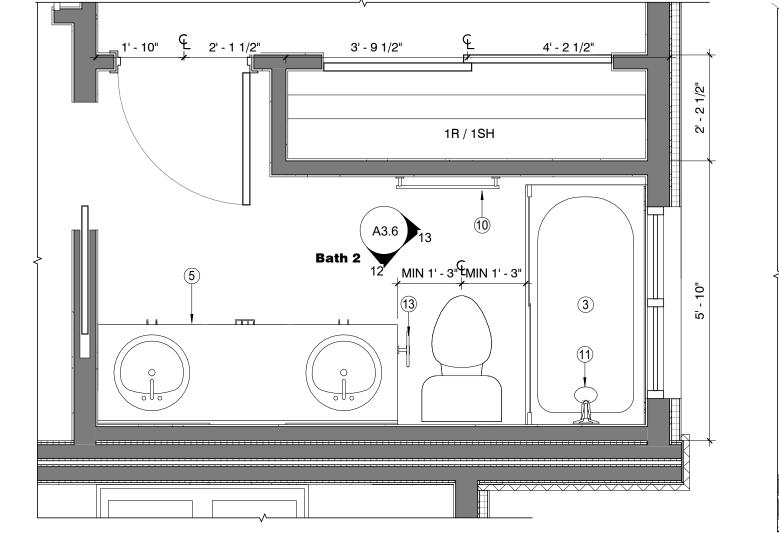


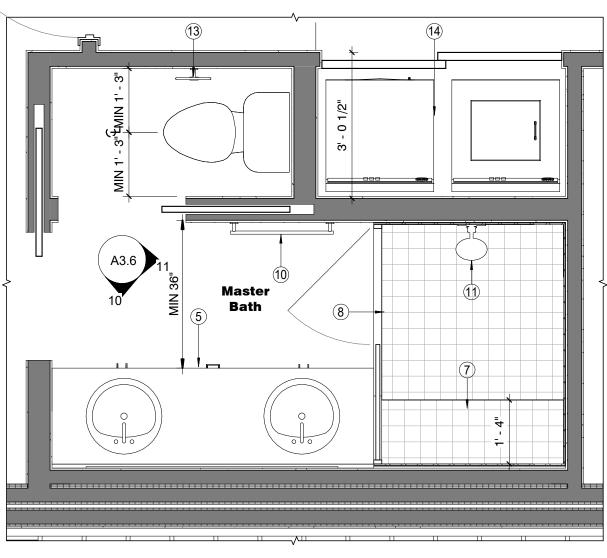
SDI Project No: 3876

12/06/2019 Date:

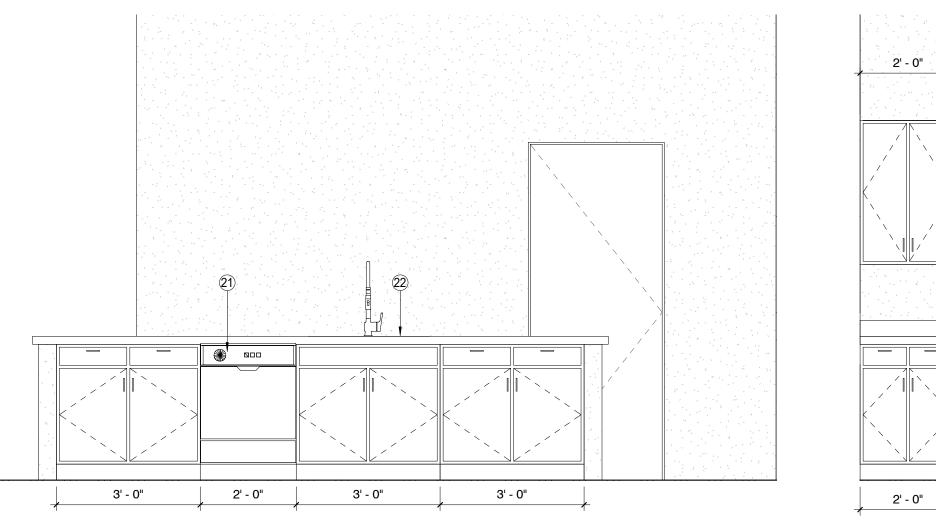
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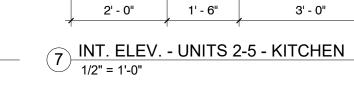


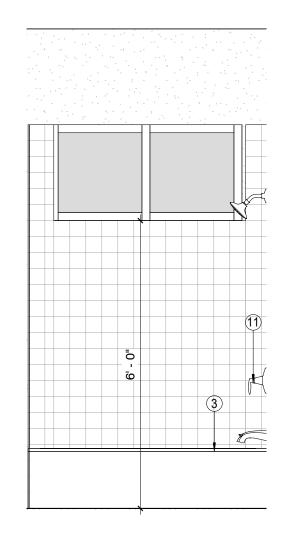


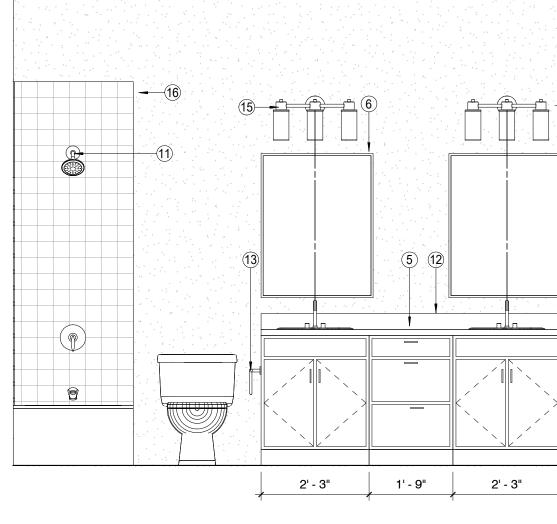






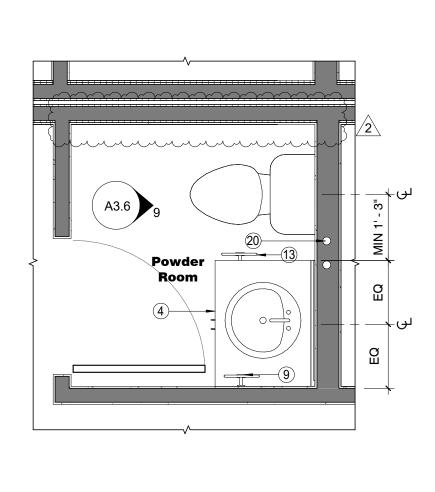


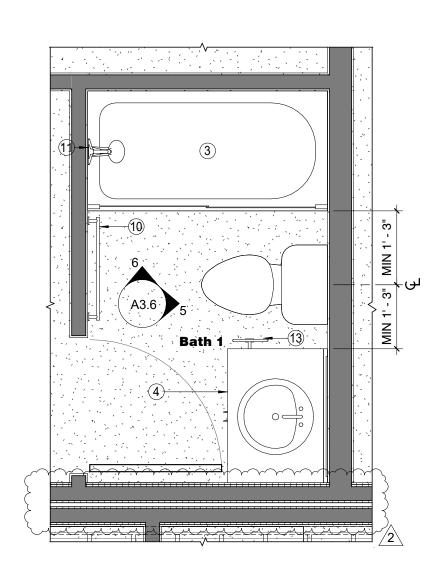




13 INT. ELEV. - UNITS 2-5 - BATH 2 1/2" = 1'-0"

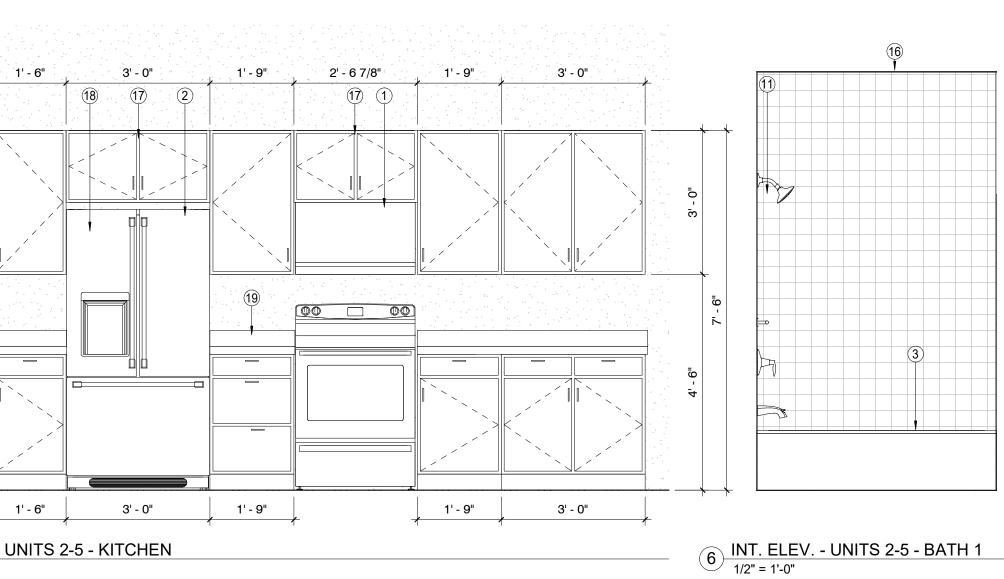
(12) INT. ELEV. - UNITS 2-5 - BATH 2 1/2" = 1'-0"

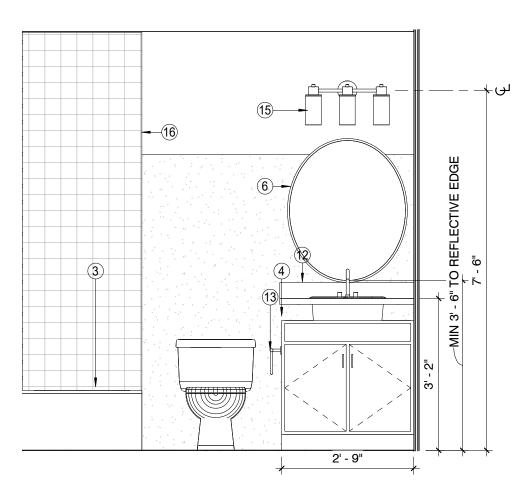


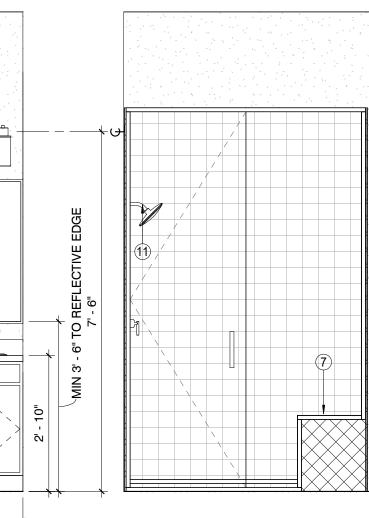


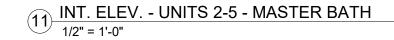
2 ENLARGED PLAN - UNITS 2-5 - POWDER ROOM 1/2" = 1'-0"

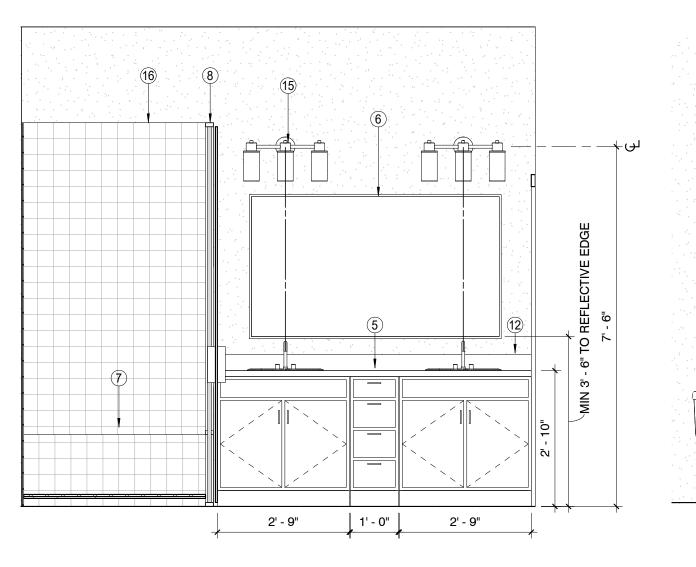
1 ENLARGED PLAN - UNITS 2-5 - BATHROOM 1 1/2" = 1'-0"









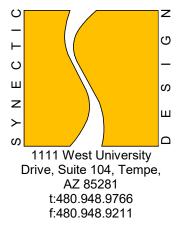


(10) INT. ELEV. - UNITS 2-5 - MASTER BATH 1/2" = 1'-0"



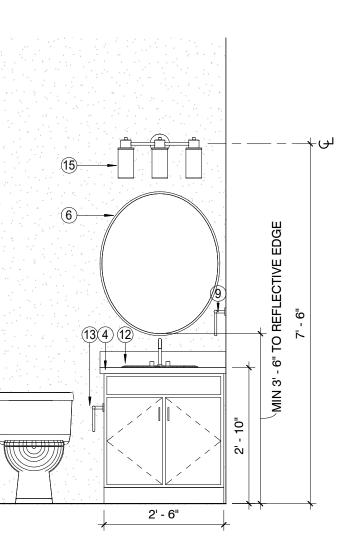
KEYNOTES

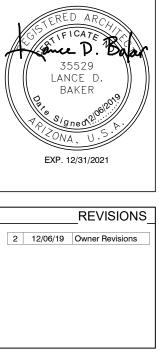
- 1 RANGE HOOD 2 REFRIGERATOR
- 3 BATHTUB / SHOWER COMBO
- 4 VANITY SINK, COUNTER AND BASE CABINET
- 5 2 SINK VANITY, COUNTER AND BASE CABINET
- 6 VANITY MIRROR 7 BUILT-IN BENCH SEATING- 18" A.F.F.
- 8 SHOWER ENCLOSURE WITH TEMPERED GLASS AND MINIMUM 22"
- OPENING 9 TOWEL RING
- 10 TOWEL BAR
- 11 SHOWER AND BATHTUB FIXTURES
- 12 4" BACKSPLASH TO MATCH VANITY COUNTER TOP 13 TOILET PAPER RING
- 14 WASHER AND DRYER BY OTHERS
- 15 VANITY LIGHT FIXTURE
- 16 TILE SURROUND AT SHOWER AND BATHTUBS 17 SPECIALITY CABINETS
- 18 PROVIDE MIN. 36" CLEAR FOR REFRIGERATOR
- 19 4" BACKSPLASH TO MATCH COUNTER TOP
- 20 VERTICAL ROOF DRAIN LEADER LOCATION, VERIFY MIN. SLOPE REQUIREMENTS FOR HORIZONTAL TRANSITIONS
- 21 DISHWASHER
- 22 KITCHEN SINK



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5 INT. ELEV. - UNITS 2-5 - BATH 1 1/2" = 1'-0"





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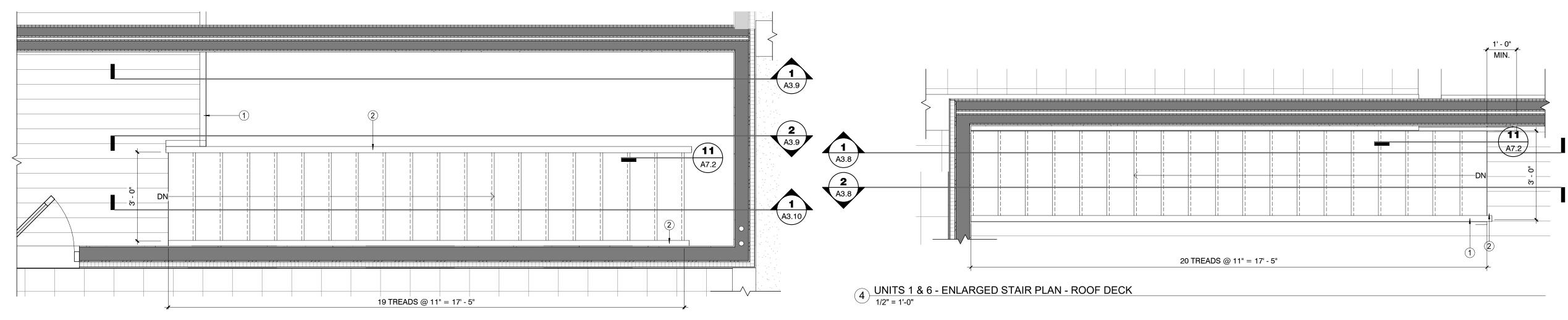




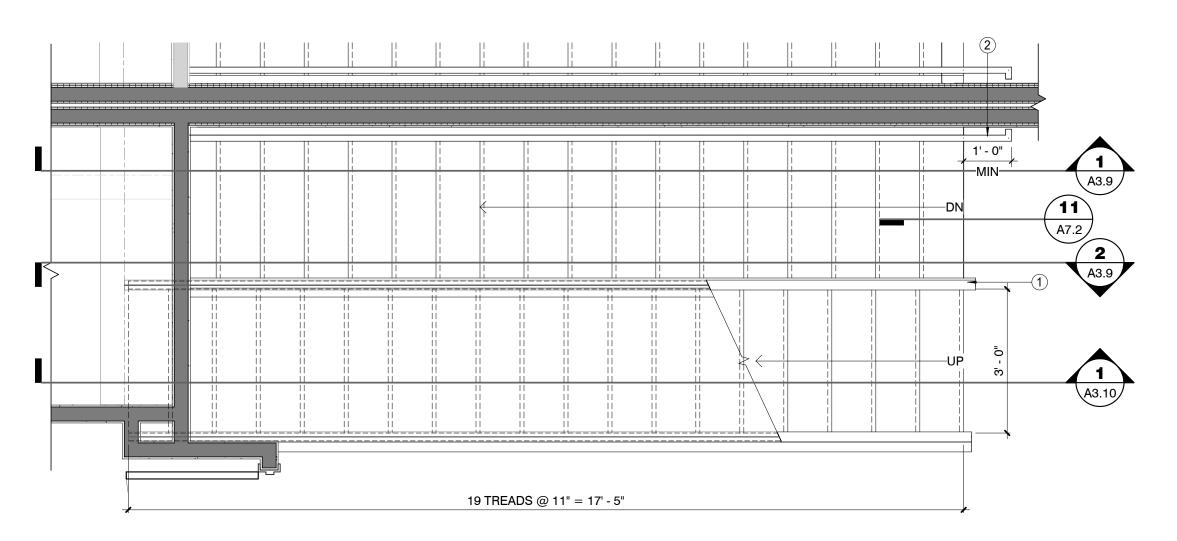
ENLARGED PLAN/INTERIOR ELEV. GENERAL NOTES A. ALL PLUMBING FIXTURES TO BE PER OWNER SPEC

- B. ALL BATH ACCESSORIES TO BE PER OWNER SPEC
- C. ALL APPLIANCES TO BE PER OWNER SPEC D. ALL MILLWORK / CABINETRY TO BE PER OWNER SPEC
- E. ALL LIGHTING FIXTURES TO BE PER OWNER SPEC
- F. ALL FINISHES PER OWNERS SPEC
- G. NON-ABSORBENT MATERIAL TO ME A MINIMUM OF 6' A.F.F. ABOVE SHOWER BASE OR BATHTUB. H. LOWER CABINETS TO HAVE 36" MINIMUM CLEAR SPACE FOR
- REFRIGERATOR. I. CENTER BATHROOM LIGHT FIXTURES OVER VANITIES UNLESS OTHERWISE NOTED <u>∕2</u>∖

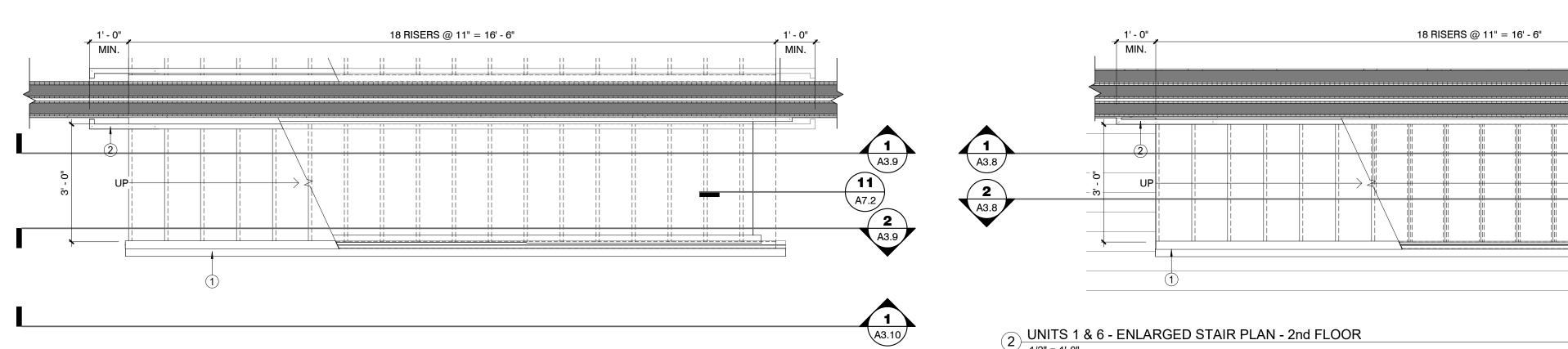
⁴ ENLARGED PLAN - UNITS 2-5 - BATH 2 1/2" = 1'-0"





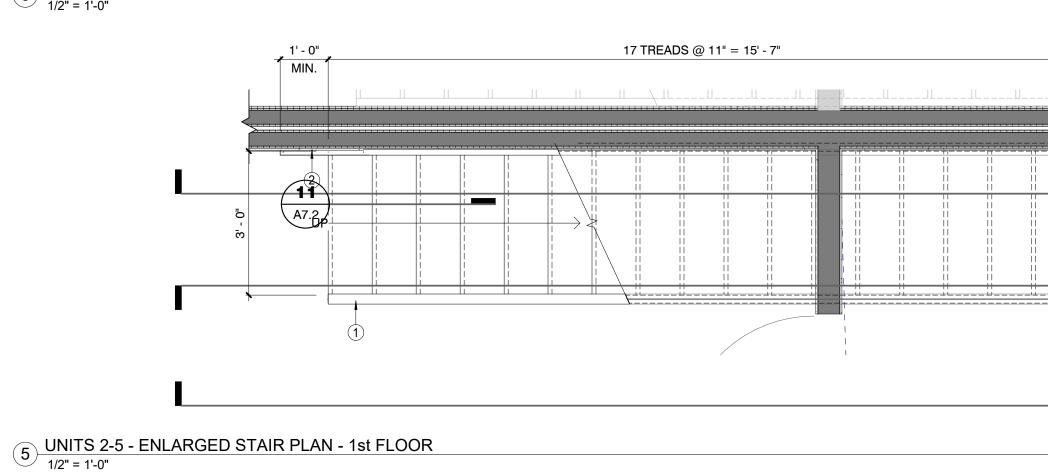


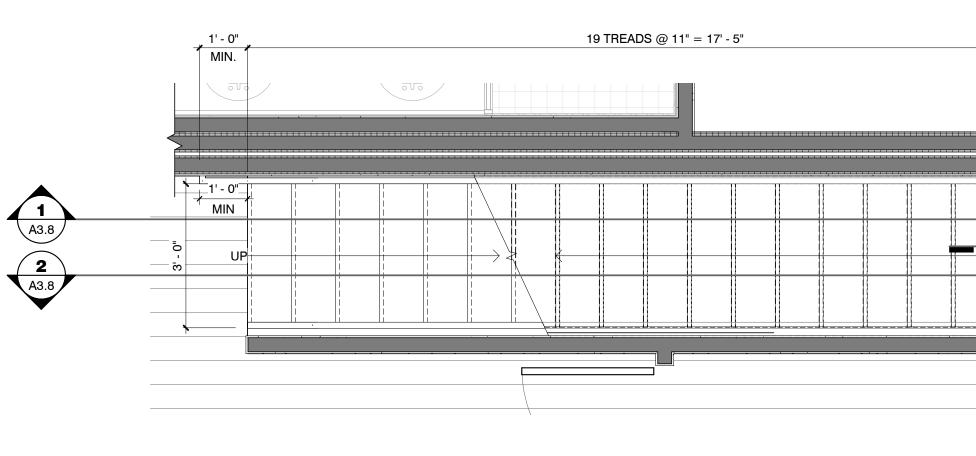
7 UNITS 2-5 - ENLARGED STAIR PLAN - 3rd FLOOR 1/2" = 1'-0"



<u>, 1' - 0"</u> MIN.

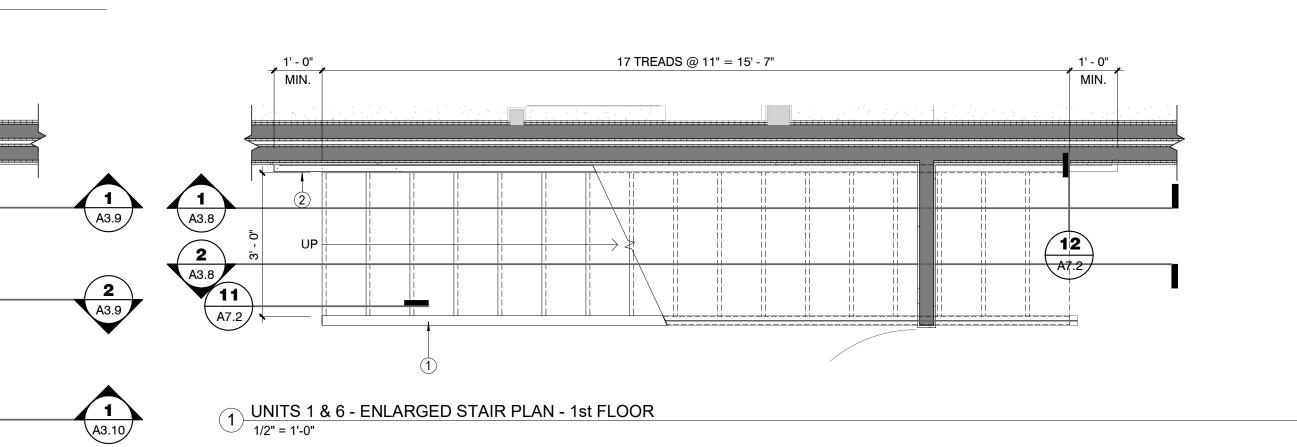
6 UNITS 2-5 - ENLARGED STAIR PLAN - 2nd FLOOR 1/2" = 1'-0"





3 UNITS 1 & 6 - ENLARGED STAIR PLAN - 3rd FLOOR 1/2" = 1'-0"

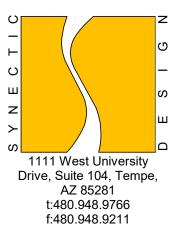




KEYNOTES

1 BALCONY GUARDRAIL - 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS

2 HAND RAIL AT 36" MIN. A.F.F. REFER TO 3/A3.10 FOR REQUIREMENTS



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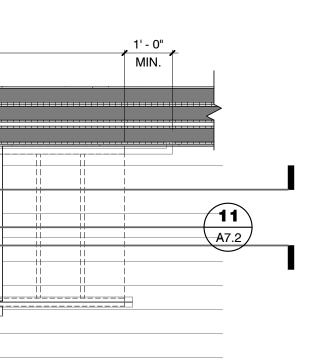
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FLEETWOOD



- A. REFER TO FLOOR PLAN AND ROOF PLAN FOR ADDITIONAL INFORMATION. B. RISER HEIGHT NOT TO EXCEED 7 3/4", MEASURED VERTICALLY BETWEEN LEADING EDGES OF ADJACENT TREADS.
- C. TREADS NOT TO BE LESS THAN 10" IN DEPTH.
- D. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY, THE LENGTH OF THE LANDING SHALL NOT BE LESS
- E. HANDRAIL TO BE ON AT LEAST ONE SIDE OF A CONTINUOUS STAIR AND HEIGHT TO NOT BE LESS THAN 34 INCHES OR GREATER THAN 38 INCHES.
- STAIRWAYS SHALL BE ILLUMINATED IN ACCORDANCE TO SECTION R303.7. G. GUARD/ HANDRAIL POSTS SHALL BE SPACED SO THAT A 4 INCH SPHERE
- CANNOT PASS THROUGH.
- REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.

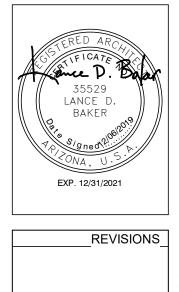


1' - 0"

A7.2

MIN.

-DN



SDI Project No: 3876

Phase:

Drawn By:

Reviewd By

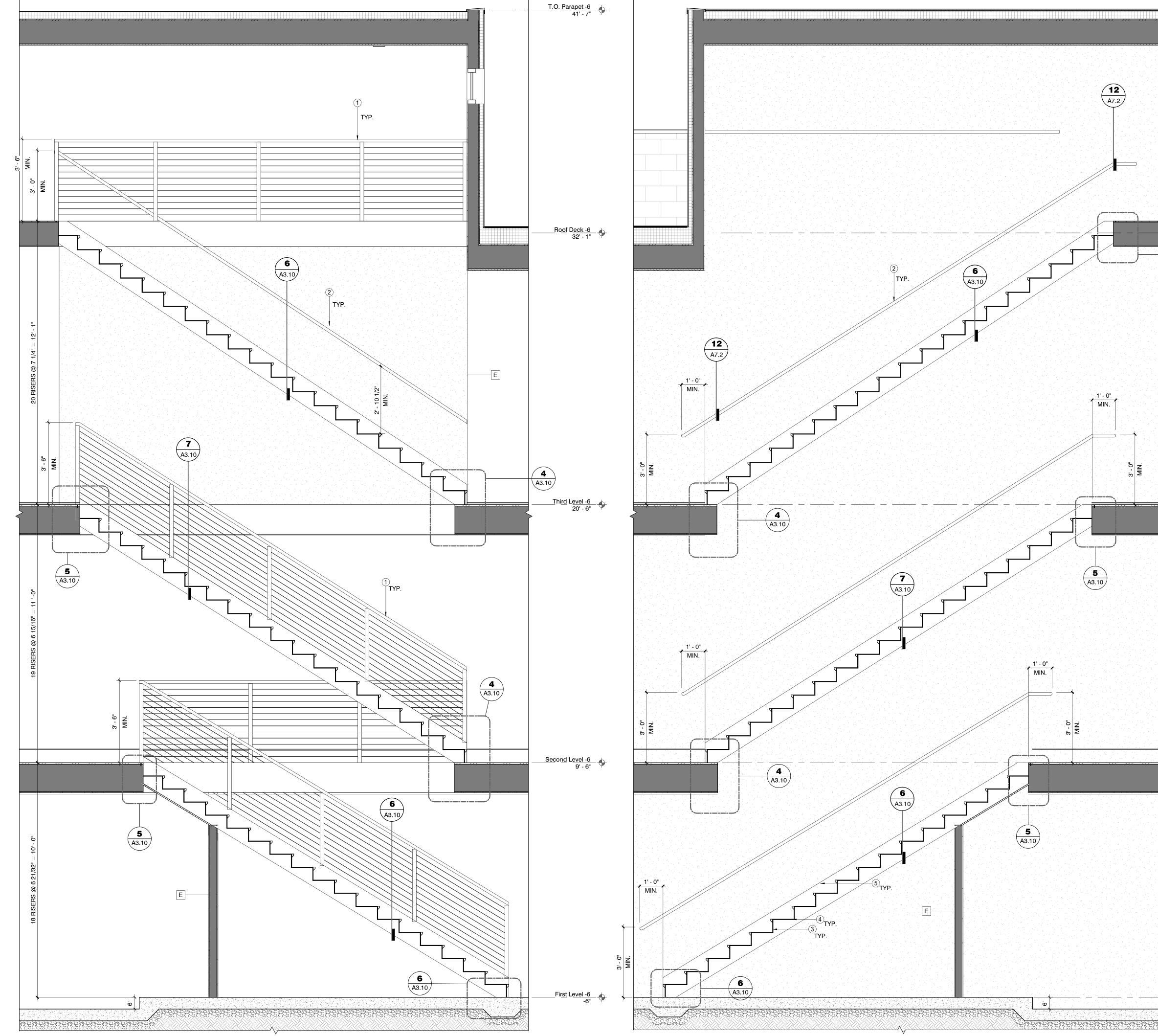
Date:

12/06/2019

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A3.7 ENLARGED STAIR PLANS

- THAN THE WIDTH OF THE FLIGHT SERVED.
- H. STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY.



² UNITS 1 & 6 - STAIR SECTION 1/2" = 1'-0"

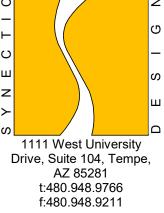
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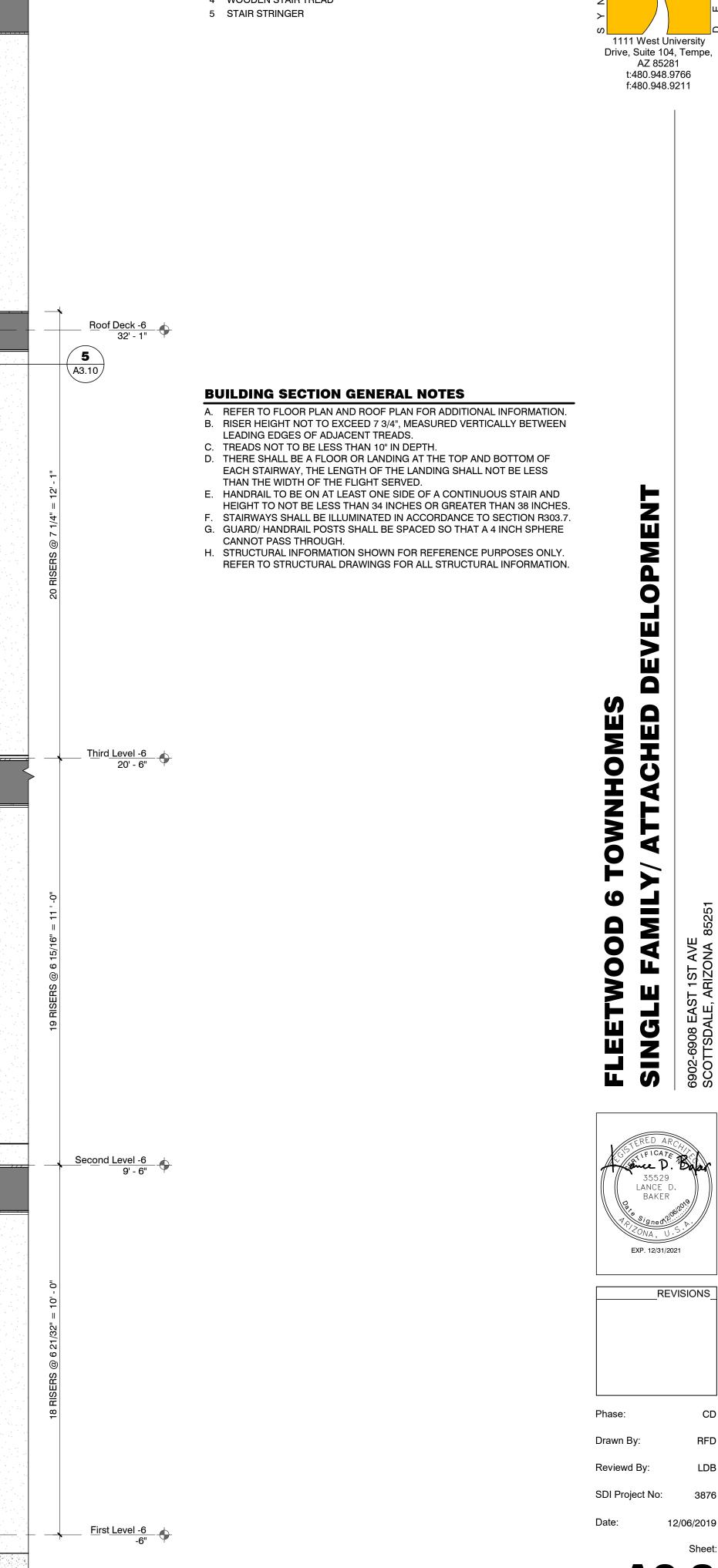


<u>T.O. Parapet -6</u> 41' - 7"

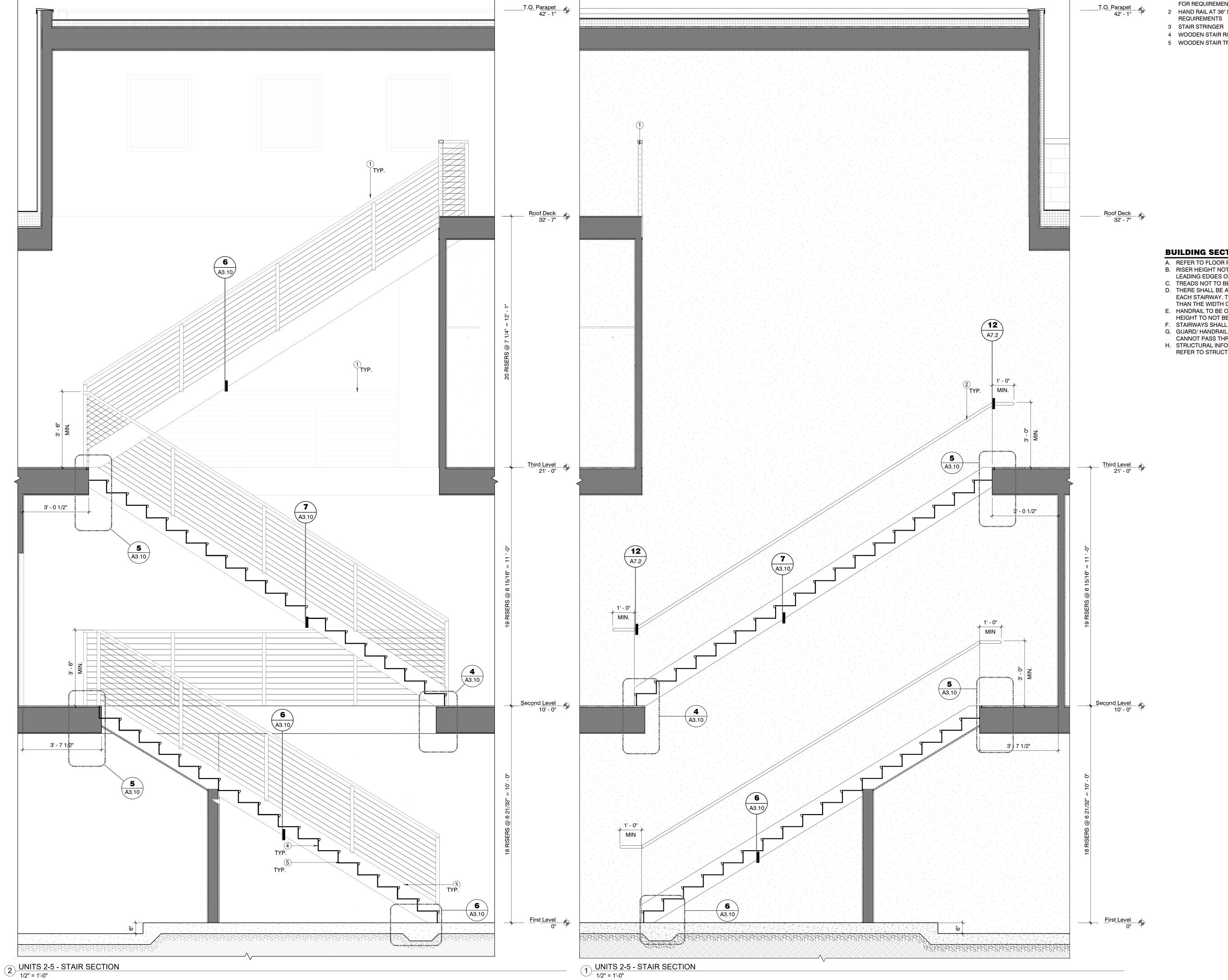
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- 1 BALCONY GUARDRAIL 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
- 2 HAND RAIL AT 36" MIN. A.F.F. REFER TO 3/A3.10 FOR REQUIREMENTS
- 3 WOODEN STAIR RISER
- 4 WOODEN STAIR TREAD

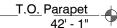




A3.8 UNITS 1 & 6 STAIR SECTIONS



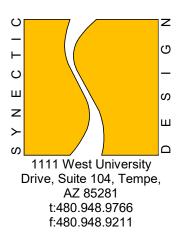
² UNITS 2-5 - STAIR SECTION 1/2" = 1'-0"



KEYNOTES

- 1 BALCONY GUARDRAIL 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
- 2 HAND RAIL AT 36" MIN. A.F.F. REFER TO 3/A3.10 FOR

- 4 WOODEN STAIR RISER
- 5 WOODEN STAIR TREAD



BUILDING SECTION GENERAL NOTES

- A. REFER TO FLOOR PLAN AND ROOF PLAN FOR ADDITIONAL INFORMATION. B. RISER HEIGHT NOT TO EXCEED 7 3/4", MEASURED VERTICALLY BETWEEN
- LEADING EDGES OF ADJACENT TREADS. C. TREADS NOT TO BE LESS THAN 10" IN DEPTH.
- D. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY, THE LENGTH OF THE LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE FLIGHT SERVED.
- E. HANDRAIL TO BE ON AT LEAST ONE SIDE OF A CONTINUOUS STAIR AND
- HEIGHT TO NOT BE LESS THAN 34 INCHES OR GREATER THAN 38 INCHES. F. STAIRWAYS SHALL BE ILLUMINATED IN ACCORDANCE TO SECTION R303.7.
- G. GUARD/ HANDRAIL POSTS SHALL BE SPACED SO THAT A 4 INCH SPHERE CANNOT PASS THROUGH.
- H. STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.

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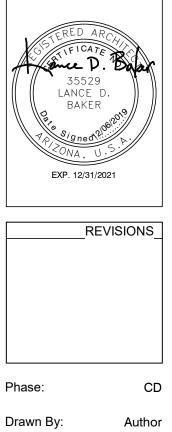
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SDI Project N 3876

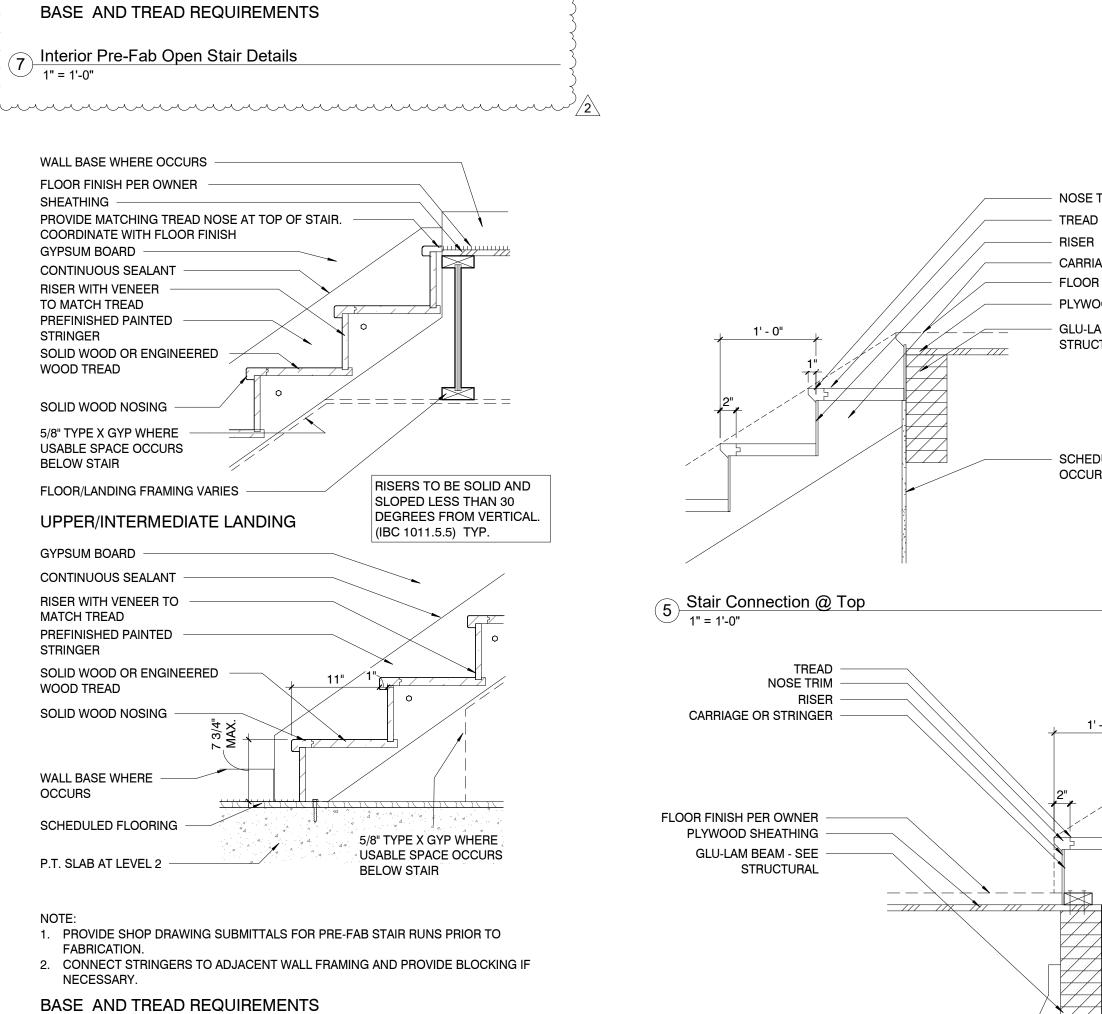
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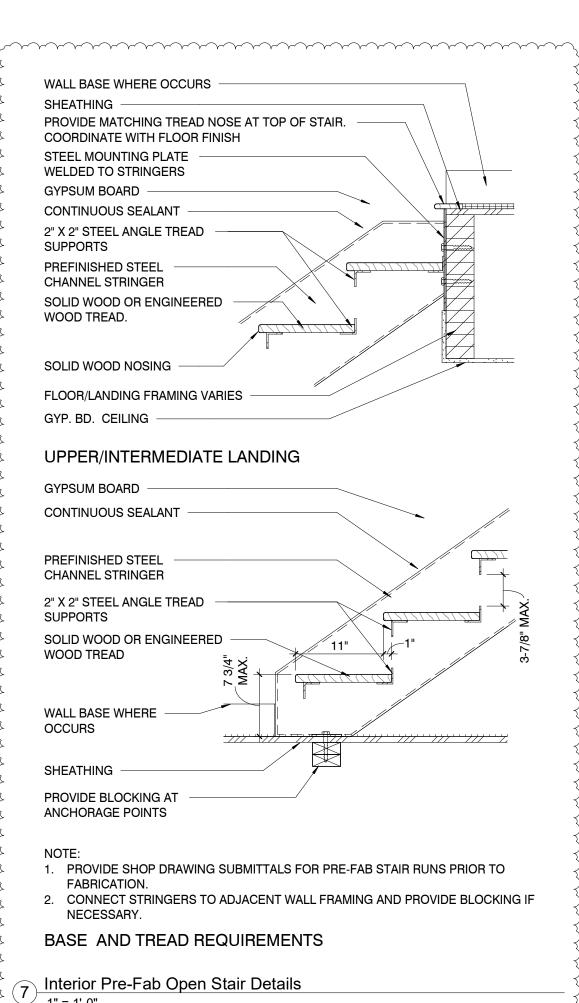
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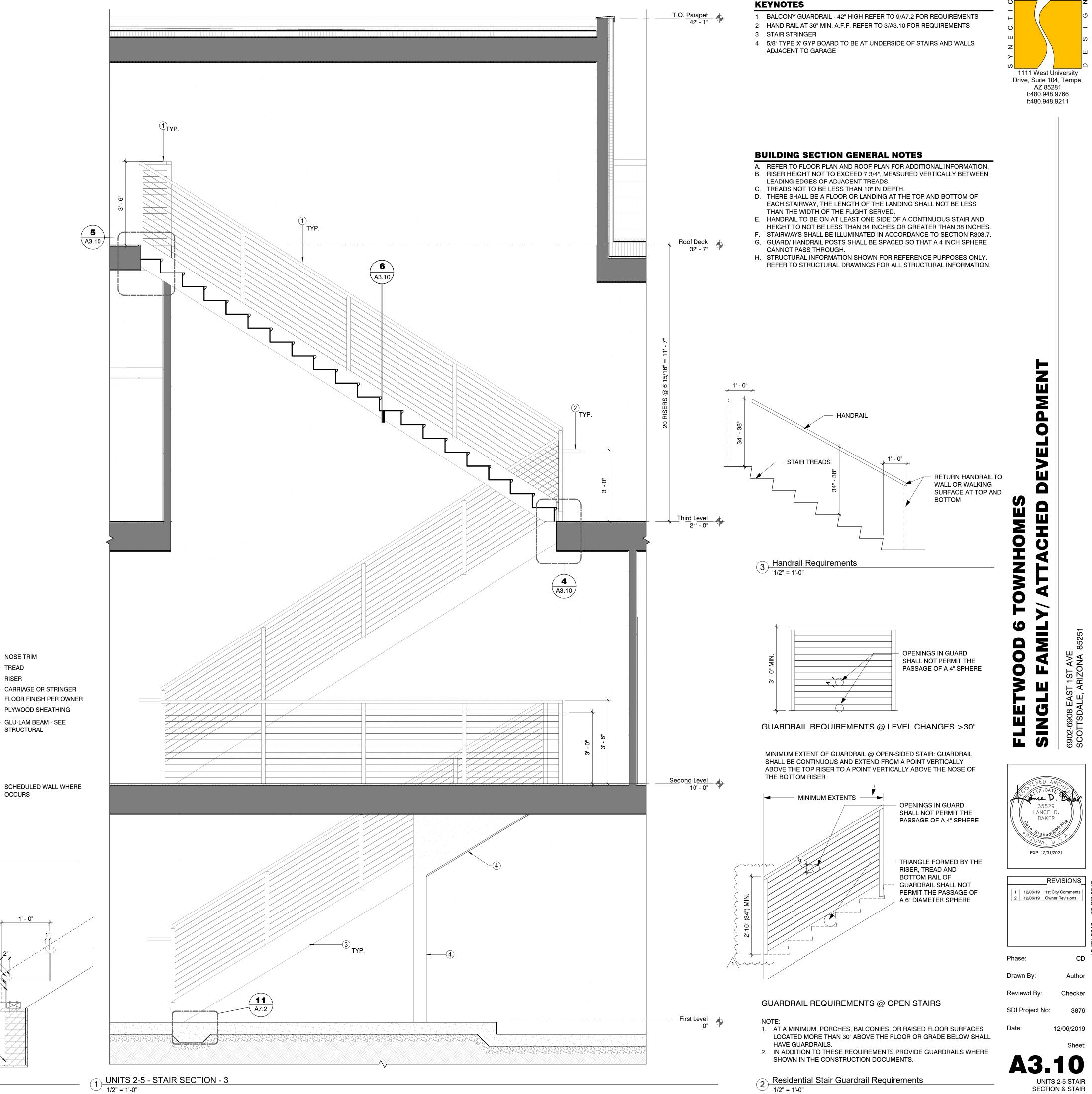
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A3.9 UNITS 2-5 STAIR SECTIONS









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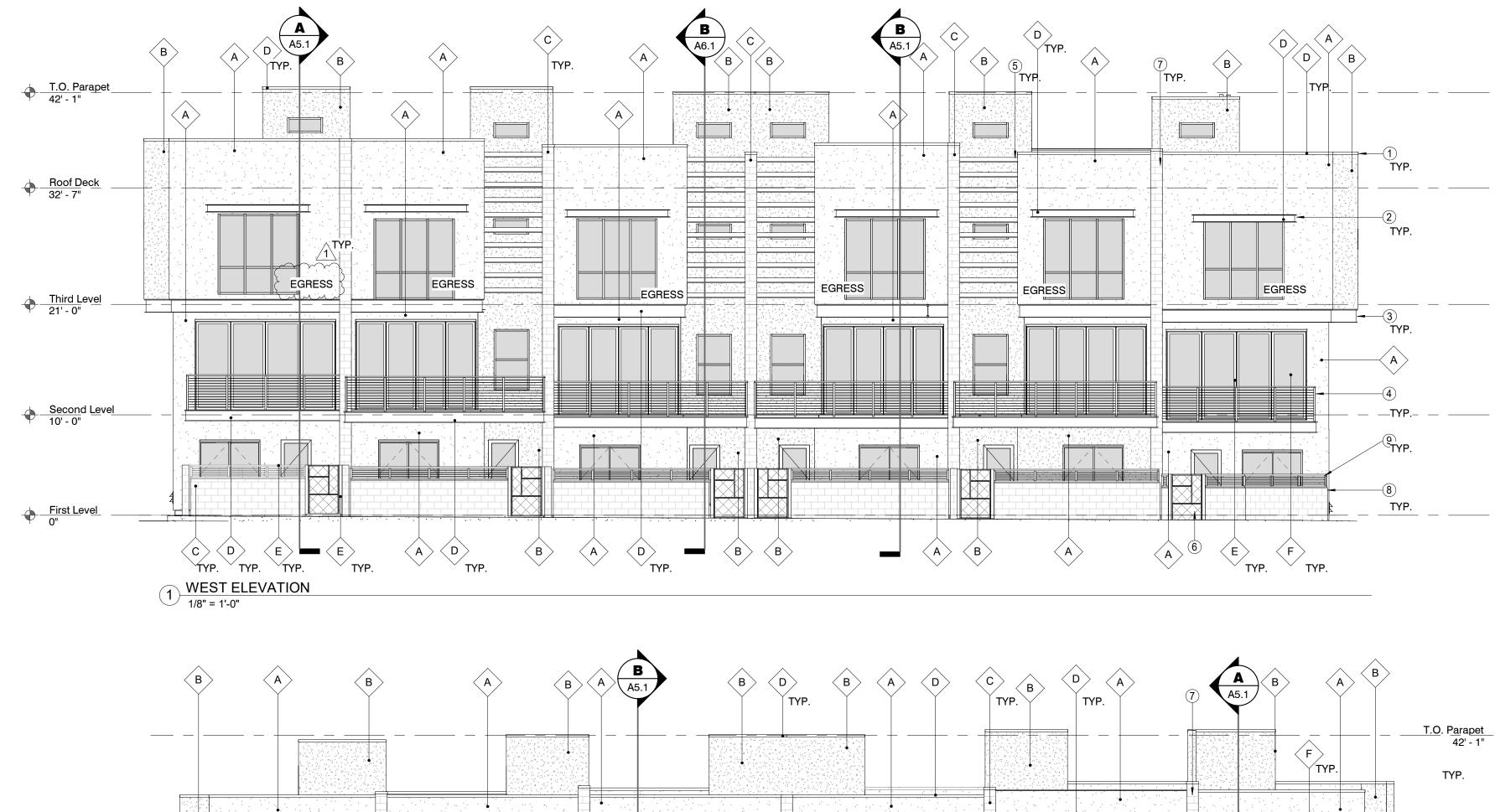
1' - 0"

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TREAD

RISER

UNITS 2-5 STAIR SECTION & STAIR DETAILS



EGRESS

`_____

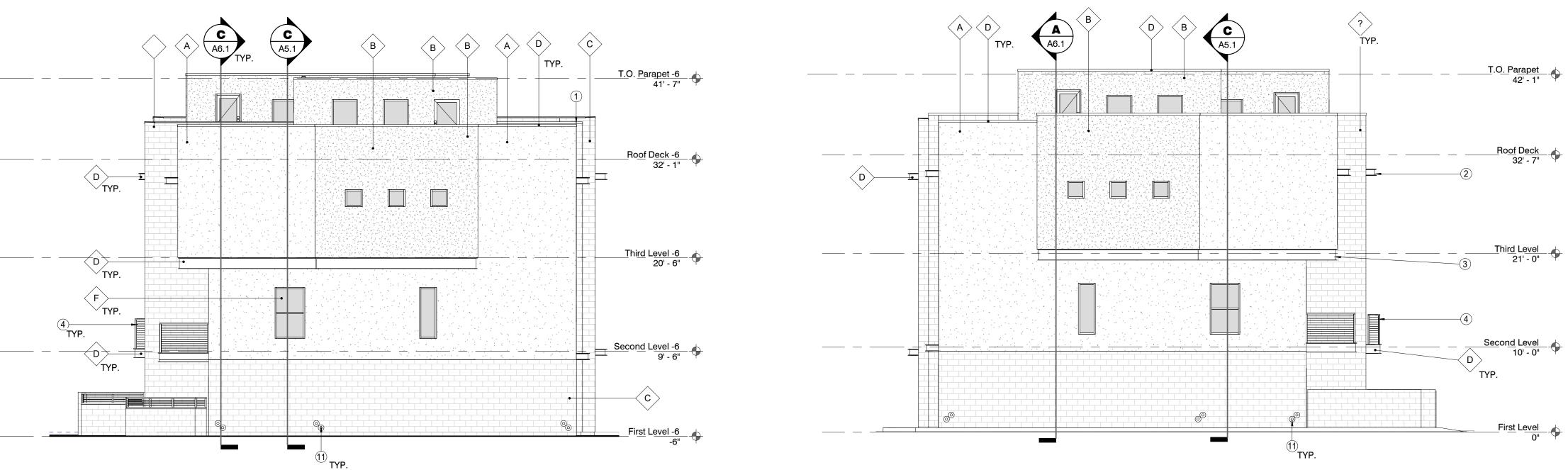
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2 EAST ELEVATION 1/8" = 1'-0"

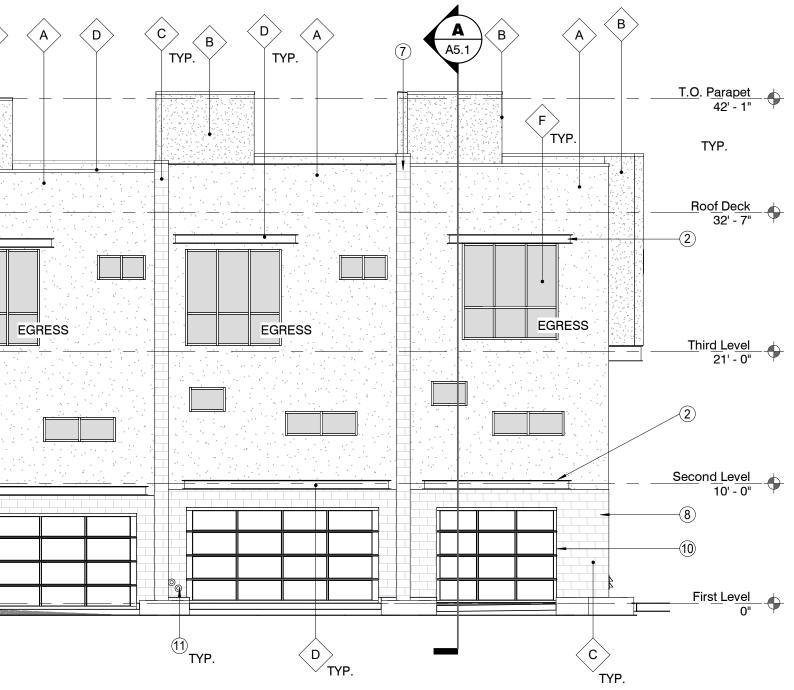
EGRESS

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3 SOUTH ELEVATION 1/8" = 1'-0"



(4) NORTH ELEVATION 1/8" = 1'-0"

KEYNOTES

- 1 SHEET METAL PARAPET CAP SEE DETAIL 13 / A7.1 OR 14 / A7.1
- 2 METAL FASCIA AT AWNING, PAINTED
- 3 METAL FASCIA AT SOFFIT, PAINTED
- 4 BALCONY GUARDRAIL 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS 5 METAL SHADE LOUVERS, PAINTED - 6/A7.3 and 5/A7.3
- 6 METAL GATE WITH DECORATIVE WIRE MESH SCREENS, PAINTED
- 7 5/8" TYPE 'X' GYP BOARD TO BE AT UNDERSIDE OF STAIRS AND WALLS ADJACENT TO GARAGE
- 8 EXPOSED GROUND FACE CMU VENEEER
- 9 PARTIAL VIEW FENCE ON TOP OF CMU WALL SEE DETAIL 15/A7.1 10 METAL AND FROSTED GLASS SECTIONAL OVERHEAD GARAGE DOORS

11 ROOF DRAIN OUTLET

EXTERIOR FINISH LEGEND

À	DESCRIPTION MFR FINISH COLOR LRV	SMOOTH DISTANT GRAY
€	MFR FINISH	SMOOTH YARMOUTH BLUE
¢	MFR STYLE	CONCRETE MASONRY TRENDSTONE GROUND FACE HUNTINGTON GRAY
D		METAL TO BE DETERMINED SMOKE GRAY
E	DESCRIPTION MFR COLOR	TO BE DETERMINED
F	DESCRIPTION STYLE COLOR	LOW-E DUAL PANE

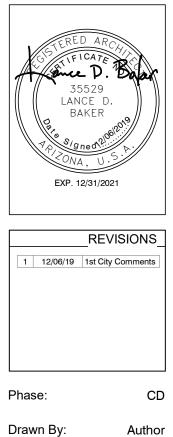
EXTERIOR ELEVATION GENERAL NOTES

- A. REFER TO CIVIL FOR FINISHED PAD AND FINISHED FLOOR ELEVATIONS
 B. REFER TO WINDOW AND DOOR SCHEDULES FOR WINDOW STYLE, SIZE AND HEIGHT
 C. ALL PROPOSED MECHANICAL UNITS ARE SCREENED BY PARAPET WALLS
 D. REFER TO FINISH SCHEDULE FOR ALL FINISH MATERIALS AND COLORS

ST AVE

6902-6908 EAST SCOTTSDALE, /

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Author Reviewd By: Checker SDI Project No: 3876

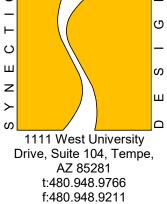
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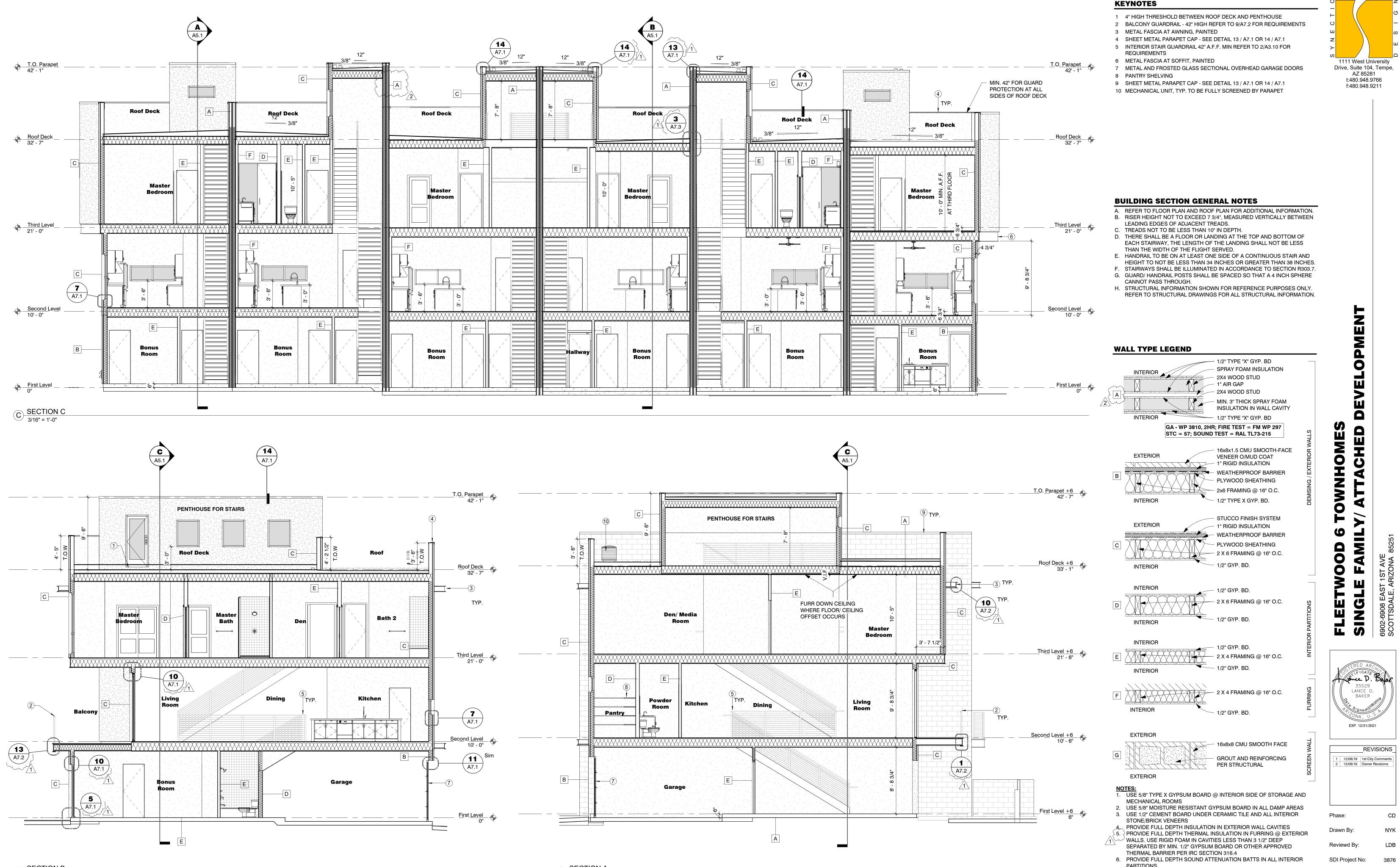


Date:

__Fir<u>st</u> L<u>evel</u>

- Third Level ______
- <u>Second</u> Level 10' 0"





B SECTION B 3/16" = 1'-0"

A SECTION A 3/16" = 1'-0"

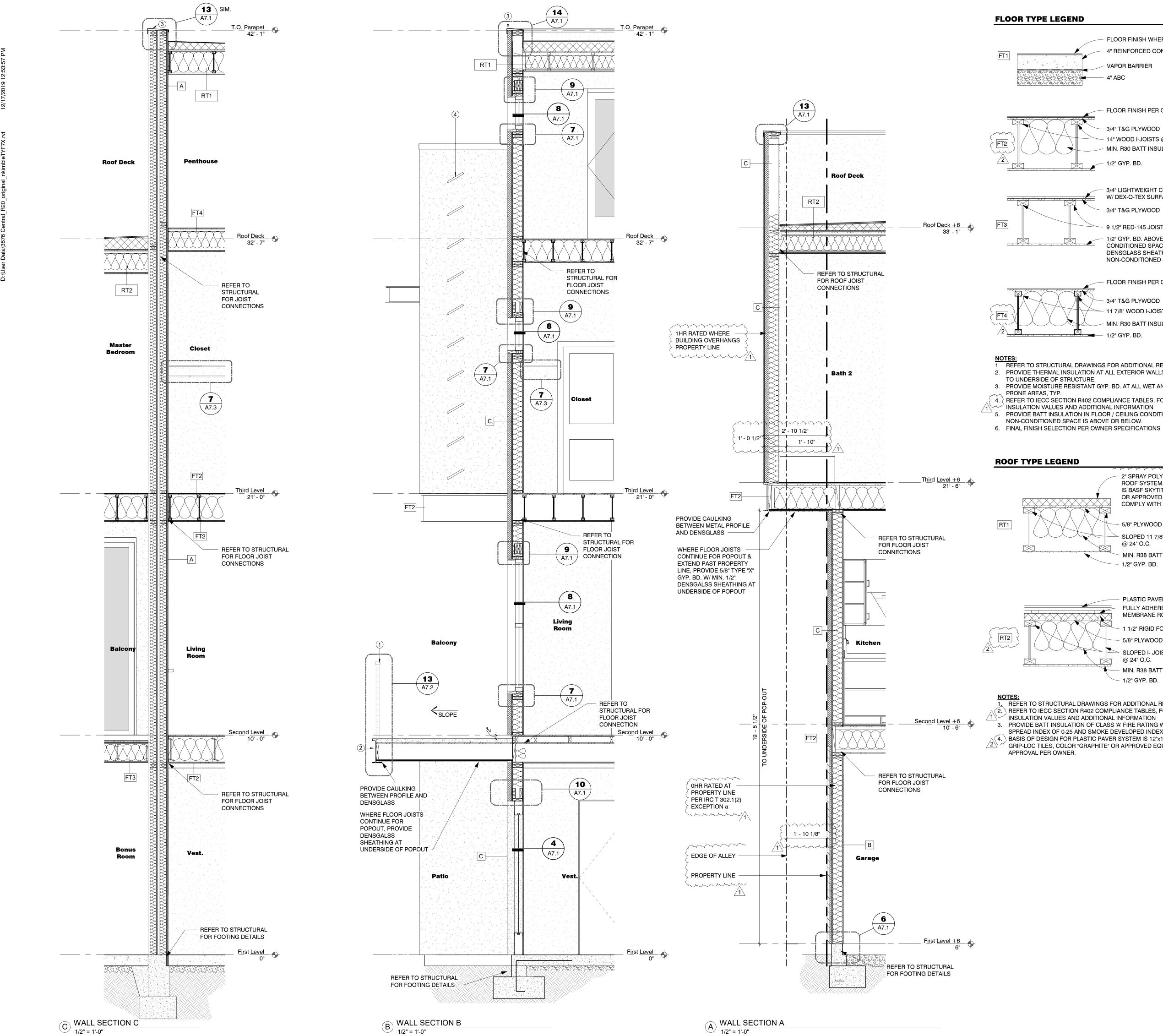
- PARTITIONS
- 7. ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE

A5.1 **BUILDING SECTIONS**

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Date:





----- 4" ABC 20

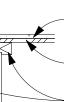
- FLOOR FINISH PER OWNER

VAPOR BARRIER

FLOOR FINISH WHERE PROVIDED

4" REINFORCED CONCRETE SLAB

- 3/4" T&G PLYWOOD - 14" WOOD I-JOISTS @ 16" O.C. MIN. R30 BATT INSULATION - 1/2" GYP. BD.



3/4" LIGHTWEIGHT CONCRETE W/ DEX-O-TEX SURFACING - 3/4" T&G PLYWOOD

- 9 1/2" RED-145 JOISTS @ 16" O.C. 1/2" GYP. BD. ABOVE CONDITIONED SPACE, OR 1/2" DENSGLASS SHEATHING OVER

- FLOOR FINISH PER OWNER

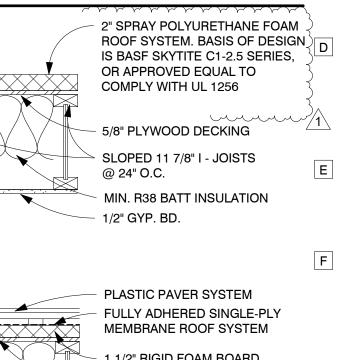
NON-CONDITIONED SPACE

- 3/4" T&G PLYWOOD - 11 7/8" WOOD I-JOISTS @ 24" O.C.
- MIN. R30 BATT INSULATION 1/2" GYP. BD.

1 REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS 2. PROVIDE THERMAL INSULATION AT ALL EXTERIOR WALLS CONTINUOUS 3. PROVIDE MOISTURE RESISTANT GYP. BD. AT ALL WET AND MOISTURE

REFER TO IECC SECTION R402 COMPLIANCE TABLES, FOR REQUIRED INSULATION VALUES AND ADDITIONAL INFORMATION PROVIDE BATT INSULATION IN FLOOR / CEILING CONDITIONS WHERE NON-CONDITIONED SPACE IS ABOVE OR BELOW.





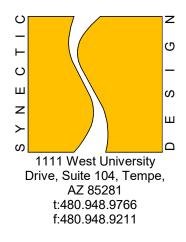
1 1/2" RIGID FOAM BOARD 5/8" PLYWOOD DECKING SLOPED I- JOISTS @ 24" O.C.

- MIN. R38 BATT INSULATION - 1/2" GYP. BD.
- NOTES: 1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS 1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS (2.) REFER TO IECC SECTION R402 COMPLIANCE TABLES, FOR REQUIRED ✓ INSULATION VALUES AND ADDITIONAL INFORMATION

3. PROVIDE BATT INSULATION OF CLASS 'A' FIRE RATING WITH FLAME SPREAD INDEX OF 0-25 AND SMOKE DEVELOPED INDEX OF 0-450 (4.) BASIS OF DESIGN FOR PLASTIC PAVER SYSTEM IS 12"x12" RUGGED GRIP-LOC TILES, COLOR "GRAPHITE" OR APPROVED EQUAL. FINAL

KEYNOTES

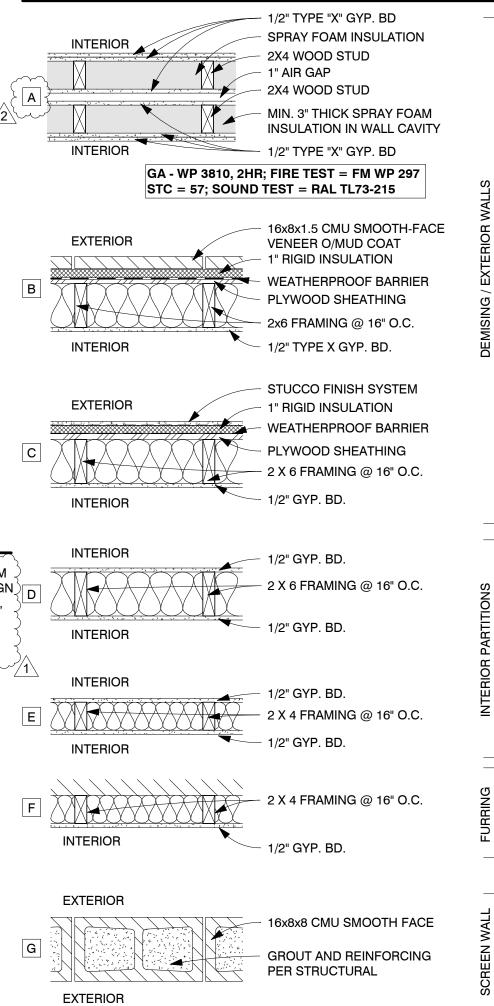
- 1 BALCONY GUARDRAIL 42" HIGH REFER TO 9/A7.2 FOR REQUIREMENTS
- 2 METAL FASCIA AT BALCONY EDGE, PAINTED 3 SHEET METAL PARAPET CAP - SEE DETAIL 13 / A7.1 OR 14 / A7.1
- 4 METAL SHADE LOUVERS, PAINTED 6/A7.3 and 5/A7.3



WALL SECTION GENERAL NOTES

A. REFER TO STRUCTURAL PLANS AND DETAILS FOR SPECIFIC SIZING, CALL OUTS AND MATERIALS. B. ALL FINSH MATERIALS TO BE PER SCHEDULE

WALL TYPE LEGEND



- NOTES: 1. USE 5/8" TYPE X GYPSUM BOARD @ INTERIOR SIDE OF STORAGE AND MECHANICAL ROOMS 2. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD IN ALL DAMP AREAS
- 3. USE 1/2" CEMENT BOARD UNDER CERAMIC TILE AND ALL INTERIOR STONE/BRICK VENEERS PROVIDE FULL DEPTH INSULATION IN EXTERIOR WALL CAVITIES
- 5. PROVIDE FULL DEPTH THERMAL INSULATION IN FURRING @ EXTERIOR \sim Walls. Use Rigid Foam in Cavities less than 3 1/2" deep SEPARATED BY MIN. 1/2" GYPSUM BOARD OR OTHER APPROVED THERMAL BARRIER PER IRC SECTION 316.4
- 6. PROVIDE FULL DEPTH SOUND ATTENUATION BATTS IN ALL INTERIOR PARTITIONS
- 7. ALL WOOD FRAMED WALLS SHALL HAVE A TREATED SOLE PLATE



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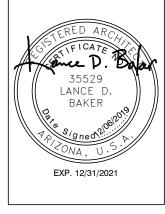
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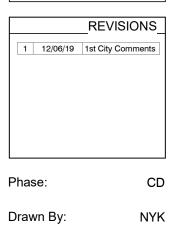
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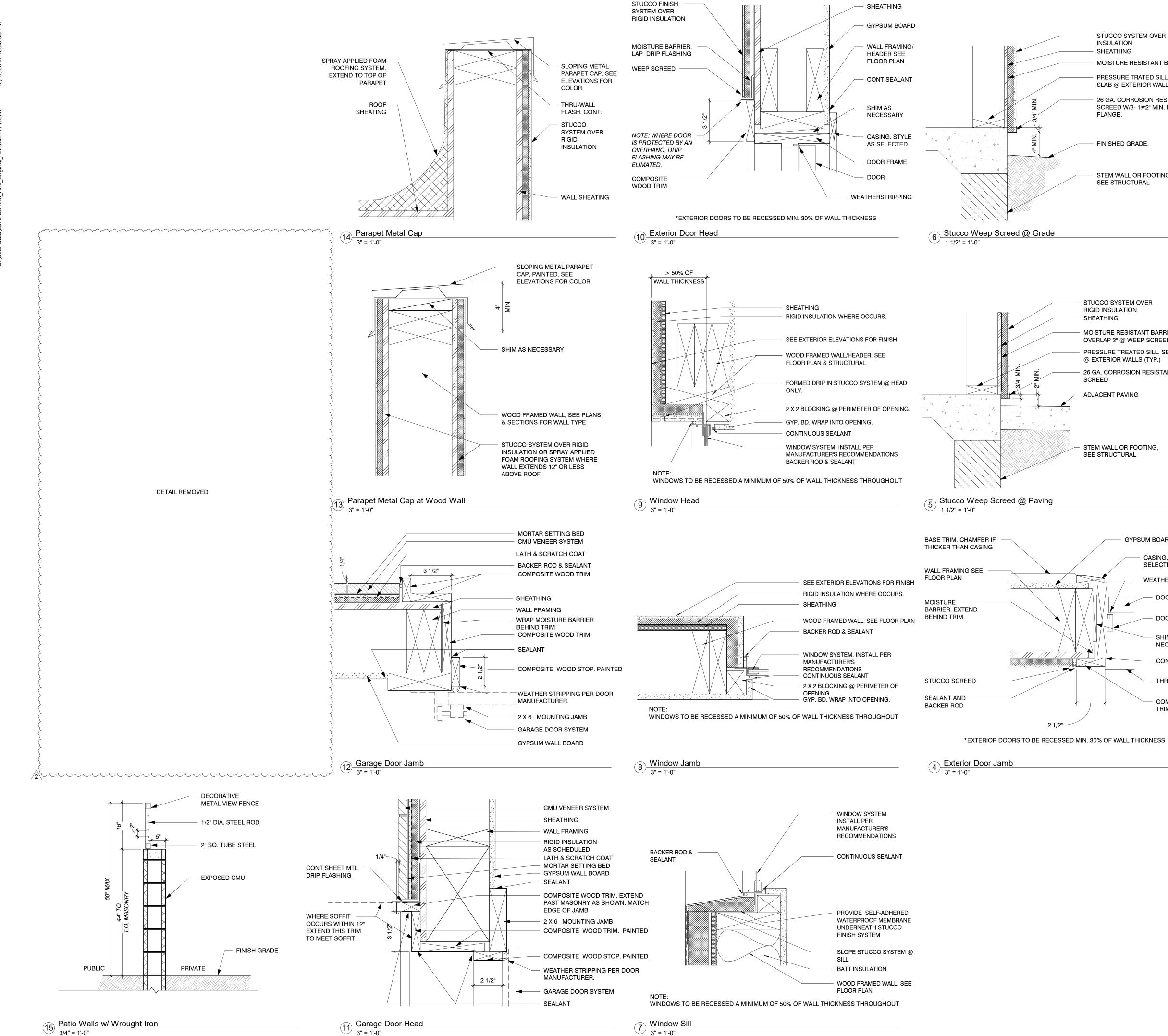
SDI Project No: 3876

Date: 12/06/2019

Reviewd By

LDB





STUCCO SYSTEM OVER REGID

MOISTURE RESISTANT BARRIER

PRESSURE TRATED SILL. SEAL TO SLAB @ EXTERIOR WALLS (TYP.)

26 GA. CORROSION RESISTANT WEEP

SCREED W/3- 1#2" MIN. NAILING

FINISHED GRADE.

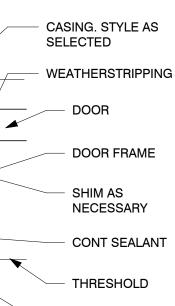
STEM WALL OR FOOTING, SEE STRUCTURAL

MOISTURE RESISTANT BARRIER, OVERLAP 2" @ WEEP SCREED PRESSURE TREATED SILL. SEAL TO SLAB

@ EXTERIOR WALLS (TYP.) 26 GA. CORROSION RESISTANT WEEP

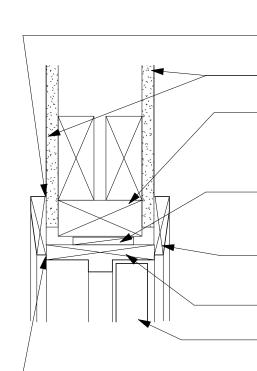
STEM WALL OR FOOTING,

- GYPSUM BOARD

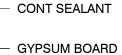


THRESHOLD COMPOSITE WOOD

TRIM



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WALL FRAMING/HEADER SEE FLOOR PLAN

SHIM AS NECESSARY

CASING. STYLE AS SELECTED

DOOR FRAME DOOR

CONT SEALANT

GYPSUM BOARD

CONT SEALANT WALL FRAMING SEE FLOOR PLAN

DOOR

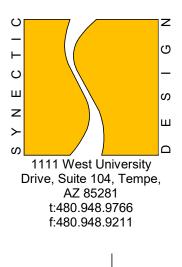
SHIM AS NECESSARY

DOOR FRAME

CONT SEALANT

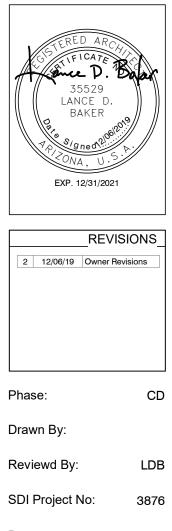
CASING. STYLE AS SELECTED

BASE TRIM. CHAMFER IF THICKER THAN CASING





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Date: 12/06/2019



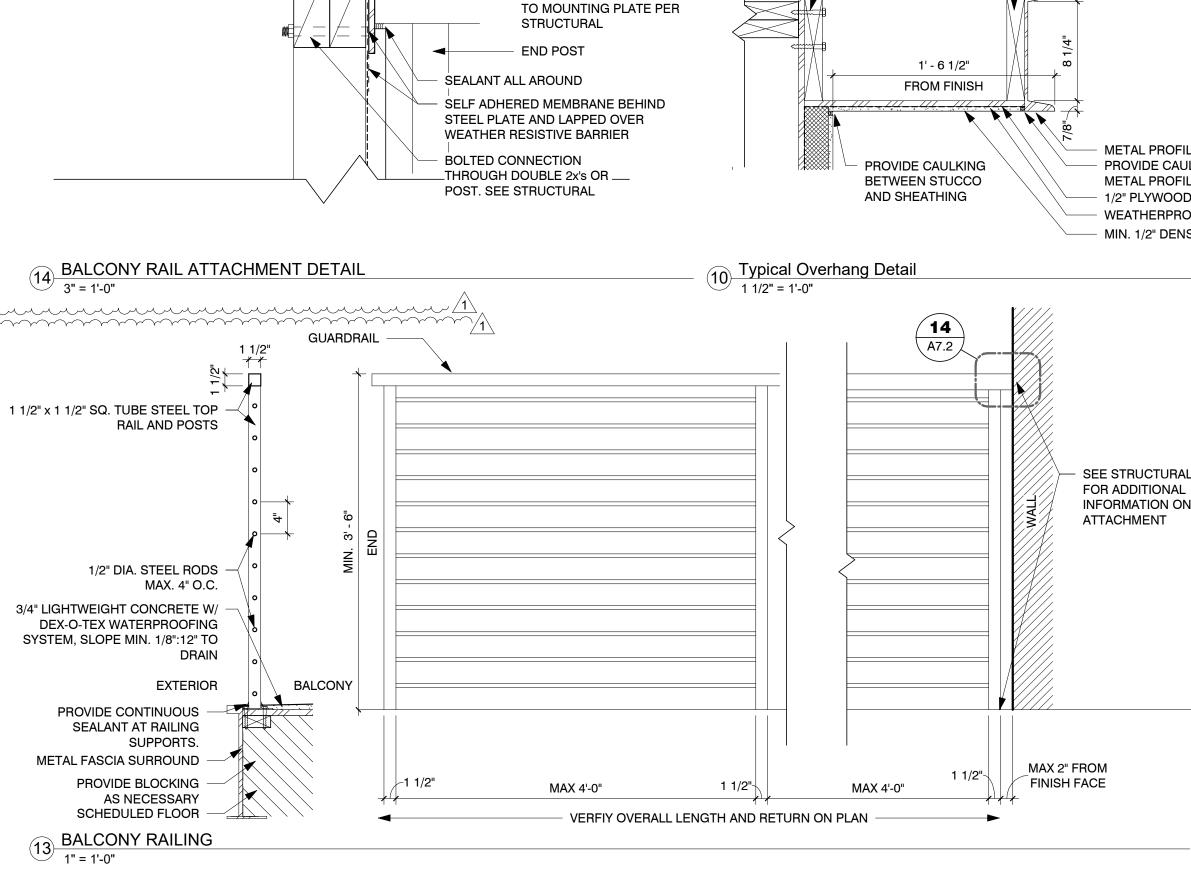


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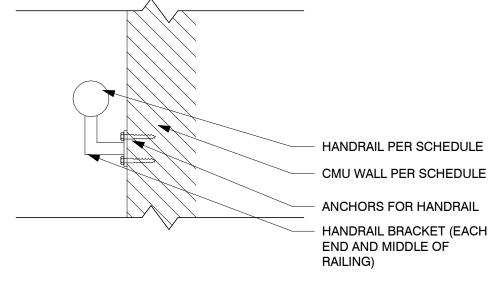
- STUCCO FINISH SYSTEM

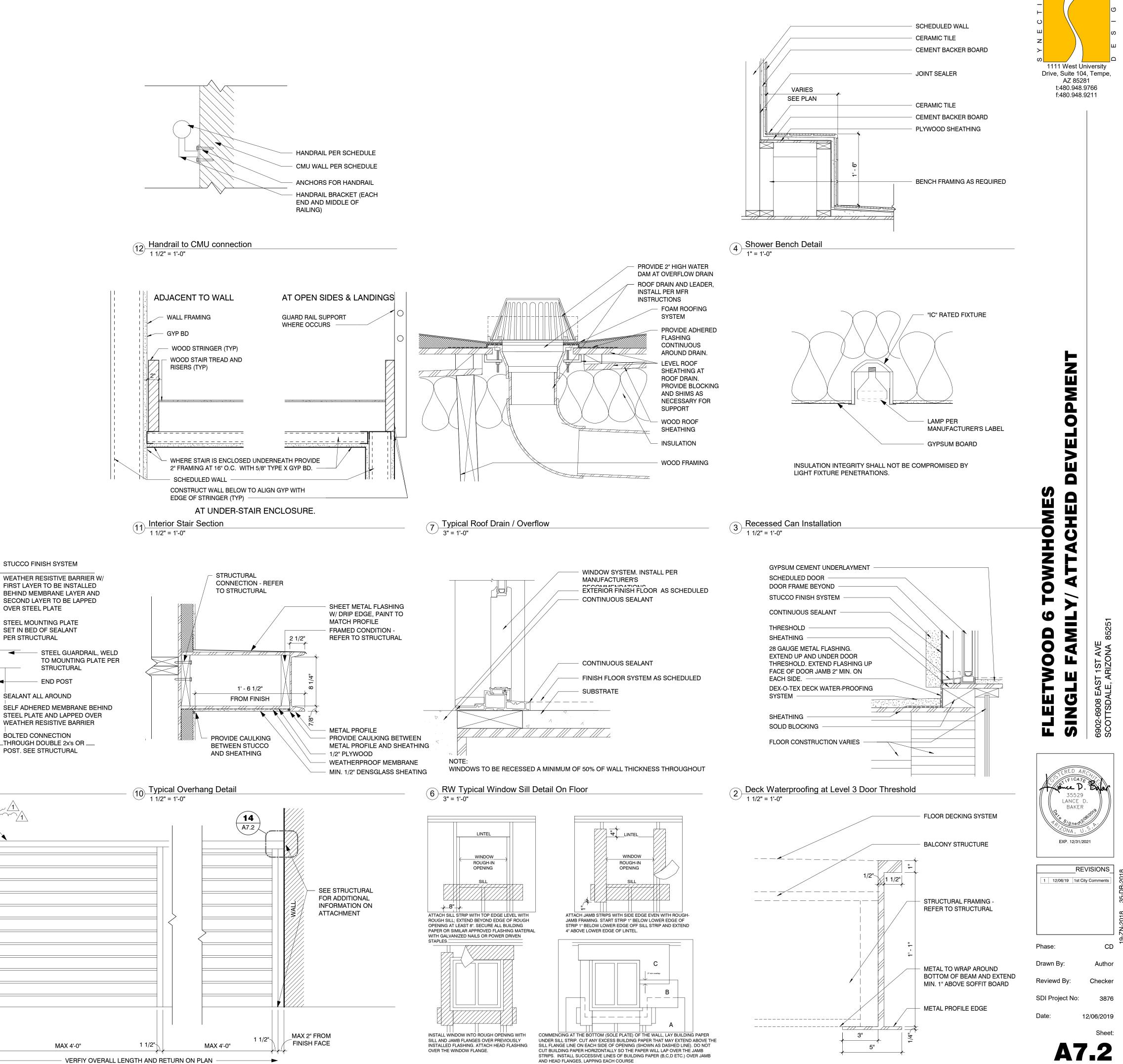
OVER STEEL PLATE

PER STRUCTURAL

STEEL MOUNTING PLATE

SET IN BED OF SEALANT

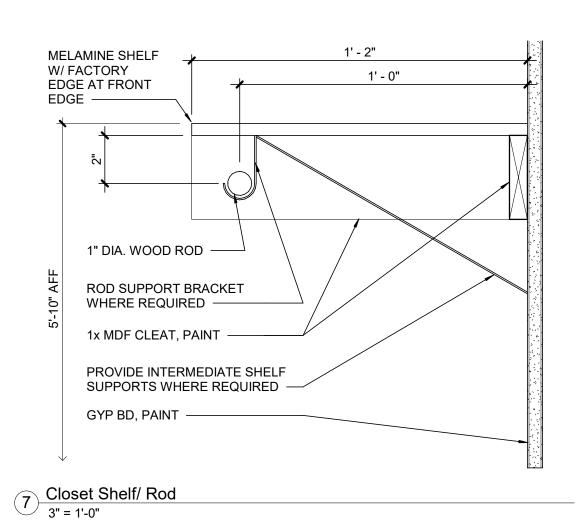


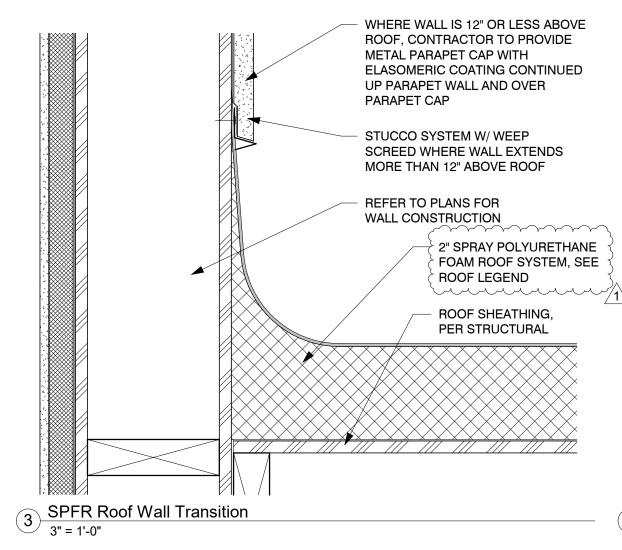


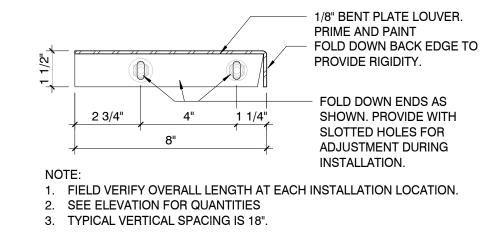
5 Building Paper Window Flashing 1/2" = 1'-0"

1 Metal Fascia @ Balcony 3" = 1'-0"

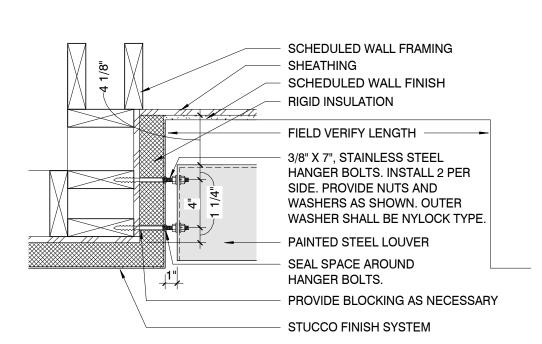
DETAILS







6 Horizontal Louver Section 3" = 1'-0"



5 Horizontal Louver Jamb 1 1/2" = 1'-0"

TOP EDGE TERMINATION

LINE OF CEILING, SOFFIT, EAVE SEALANT AND BACKER ROD STUCCO SCREED STUCCO FINISH SYSTEM OVER RIGID MOISTURE BARRIER SHEATHING @ CLG/SOFFIT/EAVE INSIDE CORNER TERMINATION SHEATHING

FINISH SYSTEM (VARIES) MOISTURE BARRIER. DOUBLE LAYER AT CORNER. CONT SEALANT SHEATHING STUCCO FINISH SYSTEM OVER RIGID INSULATION

@ MATERIAL CHANGE

Stucco Details 1 <u>Slucco Berna</u> 1 1/2" = 1'-0"

MOISTURE -BARRIER. LAP DRIP FLASHING (VARIES) CONT SHEET MTL DRIP FLASHING

SEALANT AND BACKER ROD STUCCO SCREED

STUCCO FINISH SYSTEM OVER

RIGID INSULATION MOISTURE BARRIER

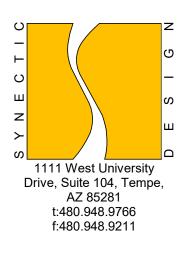
SHEATHING @ MATERIAL CHANGE

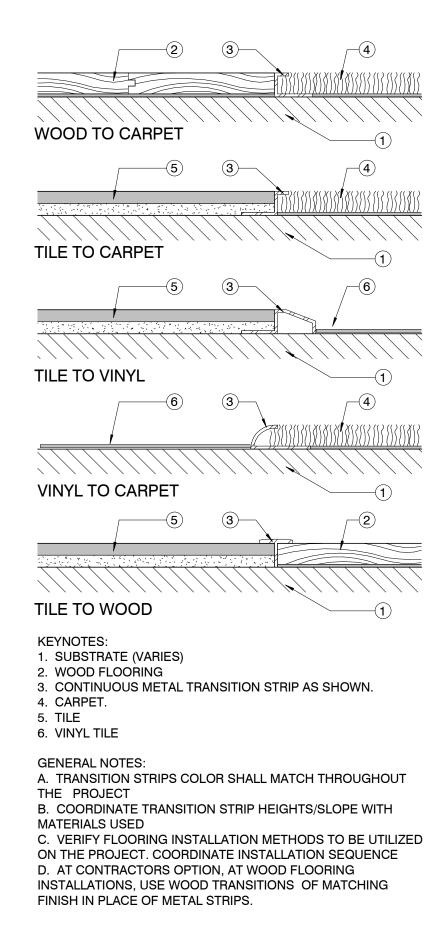
OUTSIDE CORNER

STUCCO CORNER SCREED

MOISTURE BARRIER. DOUBLE LAYER AT CORNER. STUCCO FINISH SYSTEM OVER RIGID INSULATION SHEATHING

@ MATERIAL CONTINUATION





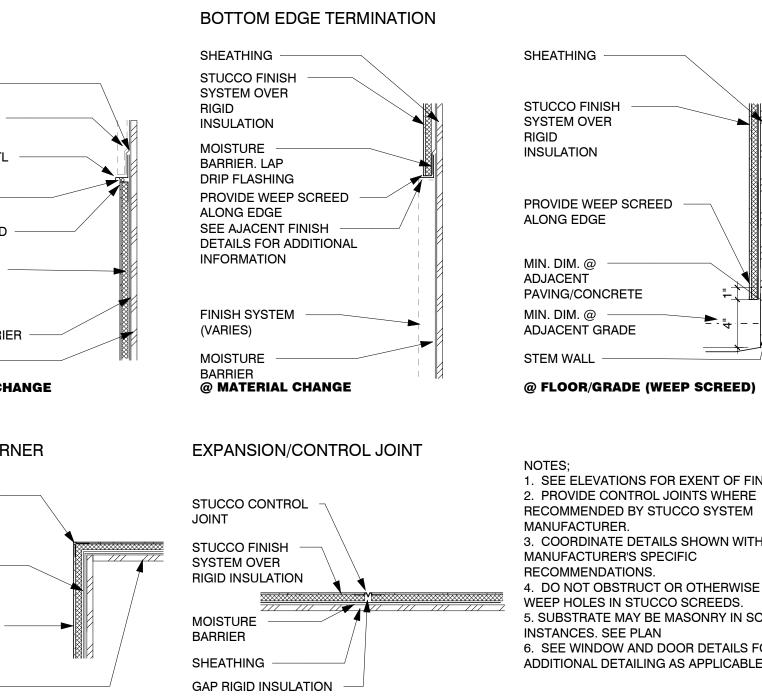
2 Flooring Transitions

2" SPRAY POLYURETHANE

FOAM ROOF SYSTEM, SEE

ROOF SHEATHING,

PER STRUCTURAL



@ HORIZONTAL/VERTICAL

- 1. SEE ELEVATIONS FOR EXENT OF FINISHES 2. PROVIDE CONTROL JOINTS WHERE RECOMMENDED BY STUCCO SYSTEM
- 3. COORDINATE DETAILS SHOWN WITH MANUFACTURER'S SPECIFIC
- 4. DO NOT OBSTRUCT OR OTHERWISE SEAL WEEP HOLES IN STUCCO SCREEDS. 5. SUBSTRATE MAY BE MASONRY IN SOME INSTANCES. SEE PLAN

6. SEE WINDOW AND DOOR DETAILS FOR ADDITIONAL DETAILING AS APPLICABLE

STUCCO

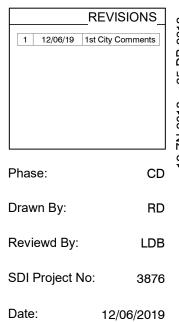
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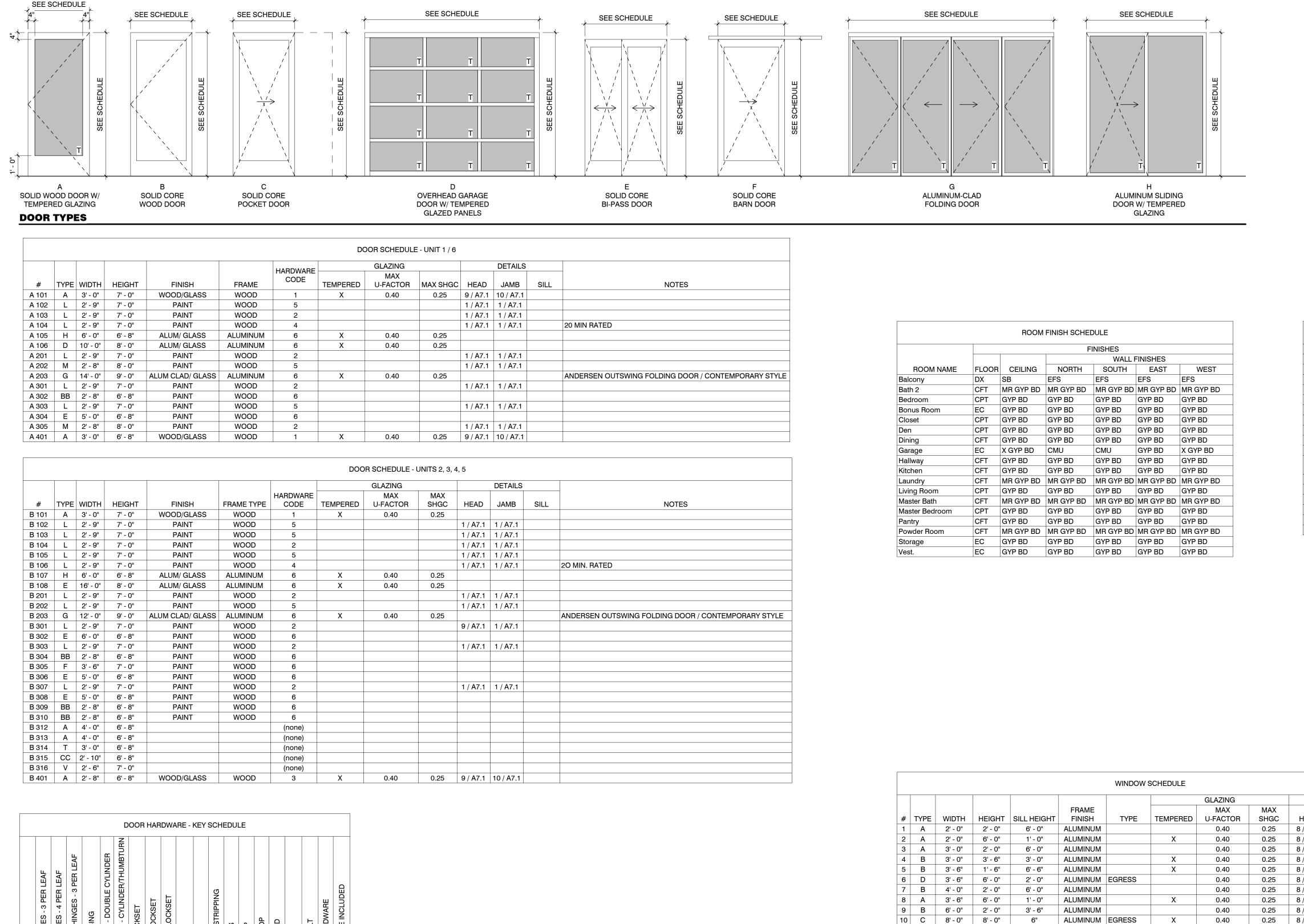




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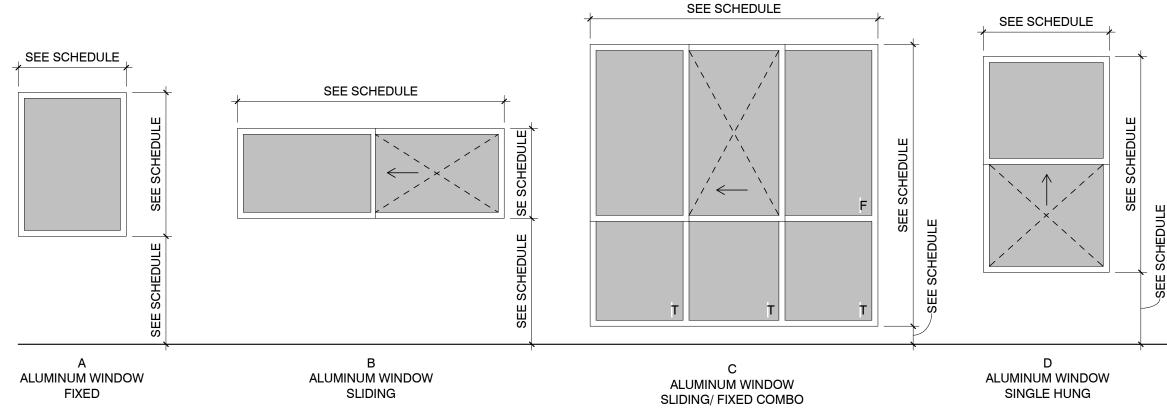
	DOOR HARDWARE - KEY SCHEDULE																			
KEY NAME	BUTT HINGES - 3 PER LEAF	BUTT HINGES - 4 PER LEAF	NRP BUTT HINGES - 3 PER LEAF	SELF CLOSING	DEADBOLT - DOUBLE CYLINDER	DEADBOLT - CYLINDER/THUMBTURN	ENTRY LOCKSET	PRIVACY LOCKSET	PASSAGE LOCKSET	KICKPLATE	ASTRAGAL	WEATHER STRIPPING	SILENCERS	WALL STOP	FLOOR STOP	THRESHOLD	SWEEP	FLUSH BOLT	PANIC HARDWARE	HARDWARE INCLUDED
1		Yes		Yes		Yes	Yes					Yes		Yes		Yes	Yes			
2	Yes							Yes						Yes						
3		Yes		Yes		Yes			Yes			Yes				Yes	Yes			
4	Yes			Yes		Yes			Yes					Yes						
5	Yes													Yes						
6																				Yes

NOTES:

1. HAND ACTIVATED DOOR OPENING HARDWARE, HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.

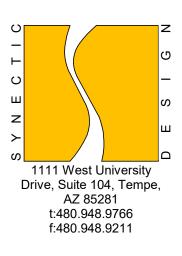
2. HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES ABOVE THE FLOOR. 3. VERIFY WITH DOOR MANUFACTURER FOR REQUIRED DOOR HARDWARE WHERE HARDWARE IS INCLUDED/ PROVIDED WITH DOOR

4. DOORS BETWEEN RESIDENCE SPACES AND GARAGE SHALL BE MIN. 1 3/8" THICK, TIGHT FITTING W/ GASKETS AND SWEEP, SOLID CORE OR HONEYCOMB-CORE DOORS WITH SELF-CLOSING DEVICE OR MUST BE MIN. 20 MINUTE FIRE-RATED



11 B 3' - 6" 1' - 6" 5' - 0" ALUMINUM

WINDOW TYPES





		ROOM FINISH LEGEND - KEY SCHEDULE
FINISH CODE	FINISH TYPE	FINISH DESCRIPTION
RUB	BASE	4" RUBBER COVE BASE. COLOR TO BE SELECTED
WD	BASE	3" WOOD BASE TRIM
SB	CEILING	DENSGLASS SOFFIT BOARD
GYP BD	CEILING	5/8" GYPSUM BOARD, TAPE, TEXTURE & PAINT. SMOOTH FINISH
MR GYP BD	CEILING	5/8" MOISTURE RESISTANT GYPSUM BOARD, TAPE, TEXTURE & PAINT. SMOOTH FINISH
CPT	FLOOR	CARPET
VCT	FLOOR	VINYL COMPOSITION TILE
DX	FLOOR	DEX-O-TEX FLOORING SYSTEM
EC	FLOOR	EXPOSED, SEALED CONCRETE
CFT	FLOOR	CERAMIC FLOOR TILE
PT-1	PAINT	ALL PAINT TO BE DUNN EDWARDS "DROPLET WHITE", PROVIDE SEMI-GLOSS IN DAMP AREAS, FLAT ON CEILINGS & IN GARAGE AND EGGSHELL ON REMAINING AREAS
CT-1	WALL	CERAMIC WALL TILE
GYP BD	WALL	1/2" GYPSUM BOARD. TAPE, TEXTURE & PAINT. SMOOTH FINISH.
MR GYP BD	WALL	1/2" MOISTURE RESISTANT GYPSUM BOARD, TAPE, TEXTURE & PAINT. SMOOTH FINISH
CMU	WALL	EXPOSED CMU
EFS	WALL	EXTERIOR FINISH SYSTEM - SEE ELEVATIONS
X GYP BD W	VALL/ CEILING	5/8" TYPE "X" GYPSUM BOARD, TAPE, TEXTURE & PAINT. SMOOTH FINISH
		$\widehat{\mathbf{A}}$

ROOM FINISH GENERAL NOTES:

TOWNHOUSE UNITS

1. ALL FRAMING SUPPORTS FOR MOISTURE RESISTANT GYPSUM BOARD (SUCH AS GYPSUM BACKER BOARD) ON CEILINGS SHALL NOT EXCEED 12 INCHES O.C. FOR 1/2" THICK BOARD AND 16" O.C. FOR 5/8" THICK BOARD 2. STANDARD COLOR, SIZE AND STYLE OF INTERIOR FINISH ITEMS TO BE SELECTED BY OWNER 3. INTERIOR FINISHES ARE PRELIMINARY AND SUBJECT TO SUBSTITION BASED ON FINISH OPTIONS AT TIME OF SALE OF

		DETAILS	
MAX			
SHGC	HEAD	JAMB	SILL
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1
0.25	8 / A7.1	7 / A7.1	6 / A7.1

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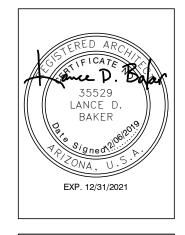
GLAZING HAZARDS

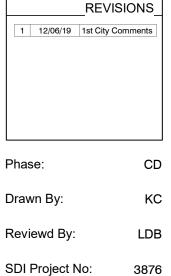
THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:

- 1. GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JALOUSIES.
- 2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
- 3. GLAZING IN STORM DOORS.
- 4. GLAZING IN ALL UNFRAMED SWINGING DOORS. 5. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE HAVE THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
- 6. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- 7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 & 6, THAT MEETS ALL OF THE FOLLOWING CONDITIONS: A. EXPOSED AREA OF AND INDIVIDUAL PANE GREATER THAN 9 SQ. FT. B. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE FLOOR.
- C. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR. D. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZ. OF THE PLANE OF THE
- GLAZING. 8. GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE A WALKING SURFACE. INCLUDED
- ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS. 9. GLASS BLOCK PANELS
- A. GLASS BLOCK PANELS SHALL HAVE A MIN. 3" THICKNESS AT THE MORTAR JOINT. B. MORTARED SURFACES OF BLOCKS SHALL BE TREATED FOR MORTAR BONDING.
- C. GLASS BLOCK SHALL BE LAID IN TYPE N MORTAR. MORTAR SHALL HAVE 750 P.S.I. MIN. 28 DAY COMPRESSIVE STRENGTH D. BOTH VERTICAL AND HORIZONTAL MORTAR JOINTS SHALL BE AT LEAST 1/4" AND NOT
- MORE THAN 3/8" THICK AND SHALL BE COMPLETELY FILLED. E. GLASS BLOCK PANELS SHALL HAVE REINFORCEMENT IN THE HORIZONTAL MORTAR
- JOINTS THAT ARE IMMEDIATELY BELOW THE HIGHEST COURSE AND IMMEDIATELY ABOVE THE LOWEST COURSE OF THE GLASS PANEL AREA. REINFORCEMENT SHALL BE CONTINUOUS 2"X8" LADDER TYPE GALVANIZED 9 GAUGE HORIZONTAL JOINT REINFORCEMENT.
- F. EXTERIOR GLASS BLOCK PANELS SHALL BE PROVIDED WITH 1/2" EXPANSION JOINTS AT THE SIDES AND TOP. EXPANSION JOINTS SHALL BE ENTIRELY FREE OF MORTAR AND SHALL BE FILLED WITH RESILIENT MATERIAL
- G. GLASS BLOCK PANELS SHALL NOT BE USED AS LOAD BEARING MEMBERS.

EMERGENCY ESCAPE AND RESCUE OPENINGS

1. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET WITH A MINIMUM NET HEIGHT OF 24" AND A MINIMUM NET WIDTH OF 20". SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE FINISH FLOOR. SEE 2015 IRC SECTION R310 FOR ADDITIONAL INFORMATION. 2. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS WITH WINDOW OPENING CONTROL DEVICES MUST COMPLY WITH ASTM F 2090. SEE 2015 IRC SECTION R310.1.1





Date: 12/06/2019

